



Jackson County Planning Commission

Staffed by the Region 2 Planning Commission (R2PC)
120 W. Michigan Avenue • Jackson, MI 49201
Phone (517) 788-4426 • Fax (517) 788-4635

MEETING NOTICE

FOR FURTHER INFORMATION CONTACT:
Grant E. Bauman, AICP
R2PC Principal Planner
(517) 768-6711
gbauman@co.jackson.mi.us

DATE: April 14, 2016
TIME: 6:00 p.m.
PLACE: 5th Floor Commission Chambers
Jackson County Tower Building
120 W. Michigan Avenue
Jackson, Michigan 49201

MEETING AGENDA

1. Call to order and pledge of allegiance
2. Public comment [*3 MINUTE LIMIT*]
3. Approval of minutes
Approval of the March 10, 2016, meeting minutes [*ACTION*] 3
4. Approval of agenda
Approval of the April 14, 2016, meeting agenda [*ACTION*]
5. Request(s) for review, comment, and recommendation
 - a. Consideration of township zoning amendment(s) - *None*
 - (1) CZ #16-06 – rezoning in Section 13 of Liberty Township [*ACTION*] 7
 - (2) CZ #16-07 – rezoning in Section 1 of Liberty Township [*ACTION*] 33
 - b. Consideration of master plan(s) - *None*
 - c. Farmland and Open Space Preservation Program (PA116) application(s) - *None*
6. Other business
 - a. Unfinished business - *None*
 - b. New business - *None*
7. Public comment [*2 MINUTE LIMIT*]
8. Commissioner comment
9. Adjournment

www.co.jackson.mi.us/county_planning_commission

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MEETING MINUTES

March 10, 2016

Jackson County Tower Building • Jackson, Michigan

- Members Present:** Timothy Burns, At Large; Nancy Hawley, At Large; Jared Vickers, At Large; Jim Videto, Agriculture; and Amy Torres, Industry and Economics
- Members Absent:** Jennifer Morris, At Large; Ted Hilleary, Education; and Carl Rice, Jr., Jackson County Board of Commissioners
- Liaisons Present:** Grant Bauman, R2PC Principal Planner
- Others Present:** None

- Item 1. **Call to Order and Pledge of Allegiance.** The meeting was called to order at 6:00 p.m. by Chairperson Torres. Those in attendance rose and joined in the Pledge of Allegiance.
- Item 2. **Public Comment.** None.
- Item 3. **Approval of Minutes.** A motion was made by Commissioner Hawley, and seconded by Commissioner Burns, to **approve** the minutes of the February 11, 2016, meeting as presented. *The motion was approved unanimously.*
- Item 4. **Approval of the Agenda.** Staff informed Commissioners that Item 5a(3) concerns a text amendment to the zoning ordinance of Concord Township rather than Henrietta Township. A motion was made by Commissioner Hawley, and seconded by Commissioner Burns, to **approve as amended** the March 10, 2016, agenda. *The motion was approved unanimously.*
- Item 5. **Request(s) for Review, Comment, and Recommendation**
- a. **Consideration of Township Zoning Amendment(s).**
- (1) **Conditional Rezoning in Section 35 of Sandstone Township**
- Staff summarized its report regarding the proposed rezoning of a property from Agricultural (AG-1) to Limited Industrial (LI), noting the change to a conditional rezoning which will only allow "Agricultural Sales, Service, Lawn Equipment and Contractor Use" on the property. Staff commented that the Sandstone Township Board should verify that the provisions of Section 14.6 (Conditional Rezoning of Land) of the *Sandstone Township Zoning Ordinance* are followed. Commissioners and staff also discussed the complexities of conditional rezonings.
- A motion was made by Commissioner Vickers, and seconded by Commissioner Hawley, to recommend **approval with comments** of the conditional rezoning, as advised by staff (see the staff report). *The motion was approved unanimously.*

(2) **CZ #16-04 – Text Amendment, Henrietta Township**

Commissioner Hawley provided an overview and history of the proposed addition of Section 120 (Medical Marihuana Home Occupations) to the *Henrietta Township Zoning Ordinance*. Staff then summarized its report regarding the proposed amendment. Staff also commented on discrepancies among the various subsections of the amendment that should be resolved prior to final approval by the Township Board.

A motion was made by Commissioner Burns, and seconded by Commissioner Videto, to recommend **approval with comments** of the proposed amendment, as advised by staff (see the staff report). *The motion was approved unanimously, with Commissioner Hawley abstaining.*

(3) **CZ #16-05 – Text Amendment, Concord Township**

Staff summarized its report regarding the proposed replacement of the standards contained in Article 17 (Fences and Walls) of the *Concord Township Zoning Ordinance*. Staff noted that it assisted the Concord Township Planning Commission in the drafting of the proposed amendment.

A motion was made by Commissioner Videto, and seconded by Commissioner Burns, to recommend **approval** of the proposed amendment, as advised by staff (see the staff report). *The motion was approved unanimously.*

- b. **Consideration of Master Plan(s).** None.
- c. **Farmland & Open Space Preservation Program (PA 116) application(s).** None.

Item 6. **Other Business**

a. **Unfinished Business.**

PZN #2 – Zoning Ordinance Public Hearing & Public Noticing Requirements

The second issue of *Planning & Zoning Notes*, which addresses the Michigan Zoning Enabling Act (MZEA) requirements regarding the holding of public hearings prior to considering various zoning requests and their public notice, was presented to the Planning Commissions of Jackson and Lenawee Counties in February of 2016. Both Commissions suggested a few changes which further clarify points made in the document. Staff included a copy of the final version of the issue in the agenda packet.

b. **New Business**

2015 Annual Report

Staff presented the proposed *2015 JCPC Annual Report* to the Commission for its review and approval prior to its submittal to the County Agency and Affairs Committee of the Jackson County Board of Commissioners.

A motion was made by Commissioner Hawley, and seconded by Commissioner Burns, to **approve** the proposed Annual Report as presented. *The motion passed unanimously.*

Item 7. **Public Comment.** None.

Item 8. **Commissioner Comment.**

- a. Commissioner Hawley reminded the Commission that the Jackson County Conservation District is taking orders for seedlings (e.g., trees, grasses, native shrubs, etc.) and marking flags on its website.
- b. Chairperson Torres informed the Commission that the Enterprise Group is busy implementing its People and Places program which was presented to the Commission last fall. That includes partnering with Jackson County GIS and the Region 2 Planning Commission and utilizing the information and mapping services they provide. The Jackson County Planning Commission will likely be involved in drafting suggested standards to be considered by municipalities in Jackson County.

Item 9. **Adjournment.** The meeting was adjourned by Commissioner Torres at 6:50 p.m.

Respectfully submitted by:
Grant Bauman, Recording Secretary

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COORDINATED ZONING REPORT | #16-06

To: County Planning Commissioners
From: Grant E. Bauman, AICP
Date: April 14, 2016

Proposal: Rezoning property from Limited Industrial (I-1) to Commercial (C-1)

Purpose

The proposed use of the subject parcel (i.e., the eastern half of the parent property) is a retail floor covering store (see the Zoning Amendment Form and Background Information).¹

Location and Size of the Property

The parent property has an area of 19.93± acres and the subject parcel (i.e., the eastern half) has an area of 10.00± acres. The subject parcel and parent property are adjacent to Meridian Road (US-127), north of Jefferson Road, in Section 13 (T4S-R1W) of the Township (see Figure 1).

Land Use and Zoning

Current Land Use – The subject parcel is vacant. Adjacent properties are used agriculturally according to the Township (see the attached Zoning Worksheet Form). However, the parent property is assessed 'commercial vacant' and aerial photography shows development to the north and the east (i.e., Columbia Township). Those properties are assessed 'commercial' and 'industrial'/'commercial', respectively (see Figures 5a and 6).

Future Land Use – The Township's current future land use map places the subject parcel and the remainder of the parent property in an area proposed for 'Industrial' uses (see Figure 2). The countywide future land use map in the *Jackson Community Comprehensive Plan* also places the subject parcel and the remainder of the parent property in an area proposed for 'Industrial' uses (see Figure 3).

Current Zoning – The entire parent property is zoned Light Industrial (I-1) as are properties to the north, south, and east (Columbia Township). Properties to the east of the parent property are zoned 'Agricultural' (AG-1) (see Figure 4).

Public Facilities and Environmental Constraints

Water and Sewer Availability – Municipal sewer is available according to the Township, but municipal water is unavailable (see the attached Zoning Worksheet Form).

Public Road/Street Access – Direct access is provided by Meridian Road (US-127), a state highway (see the 2008 Road Map of Jackson County, Michigan).

¹ Please note that the proposed use is listed for informational purposes only. It should not be utilized in making the rezoning decision. Circumstances may change tomorrow which make the proposed use impractical. All of the uses that the proposed zoning designation would allow are pertinent to the rezoning request.

Environmental Constraints – The Township did not indicate if the subject parcel has any environmental constraints (see the attached Zoning Worksheet Form). However, the following figures indicate that there is a pond located at its southeast corner.

Analysis and Recommendation

Township Planning Commission Recommendation – The Liberty Township Planning Commission recommends **approval** of the proposed rezoning to C-1 (see the attached Zoning Amendment Form and other background information).

Staff Analysis – The township and countywide future land use plans place the subject parcel in an area proposed for industrial uses. Properties to the north, east, and south of the subject parcel are zoned Light Industrial (I-1). Consequently, rezoning the property to Commercial (C-1) would result in a spot zoning.

Staff Recommendation – Based upon this analysis, staff advises the Jackson County Planning Commission to recommend **DISAPPROVAL** of the rezoning to C-1. However, there are a couple of alternatives the Township may wish to consider:

Suggested Actions:

- (1) Recommend **APPROVAL**
- (2) Recommend **DISAPPROVAL**
- (3) Recommend **APPROVAL WITH COMMENTS**
- (4) Take **NO ACTION**

1. Amend the text of the ordinance to allow ‘indoor retail sales establishments’ as a permitted or conditional use in the ‘Light Industrial District (I-1)’.
2. Consider rezoning the entire parent property and the properties directly to the north—which are assessed ‘commercial vacant’ and ‘commercially’, respectively (see Figure 6)—for ‘commercial’ uses and place those in a commercial future land use category when the Township’s master plan is updated.

**Figure 1
Location**

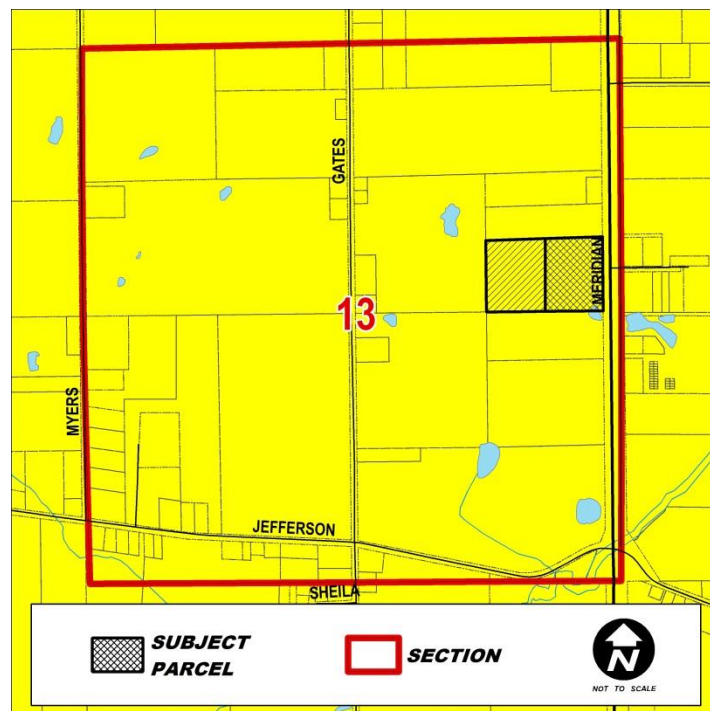


Figure 2
Generalized Municipal Future Land Use

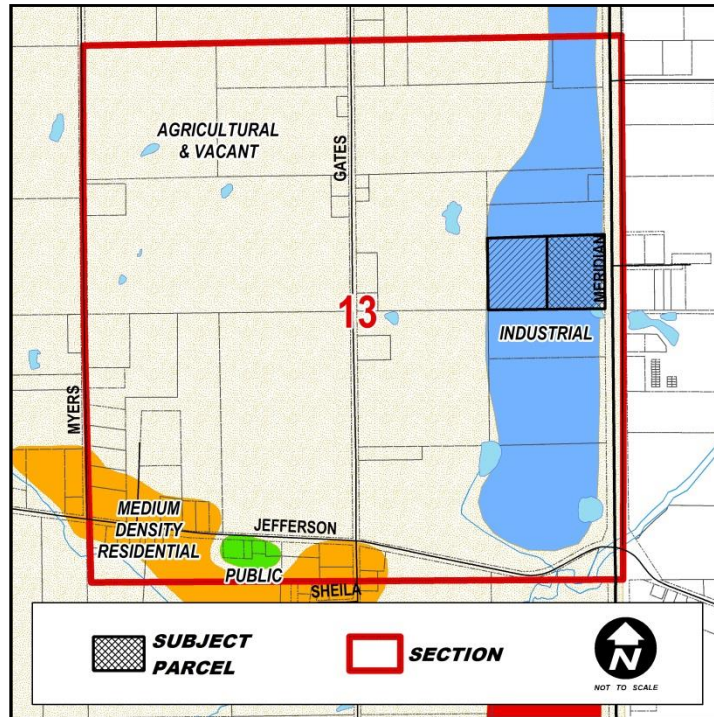


Figure 3
Countywide Future Land Use

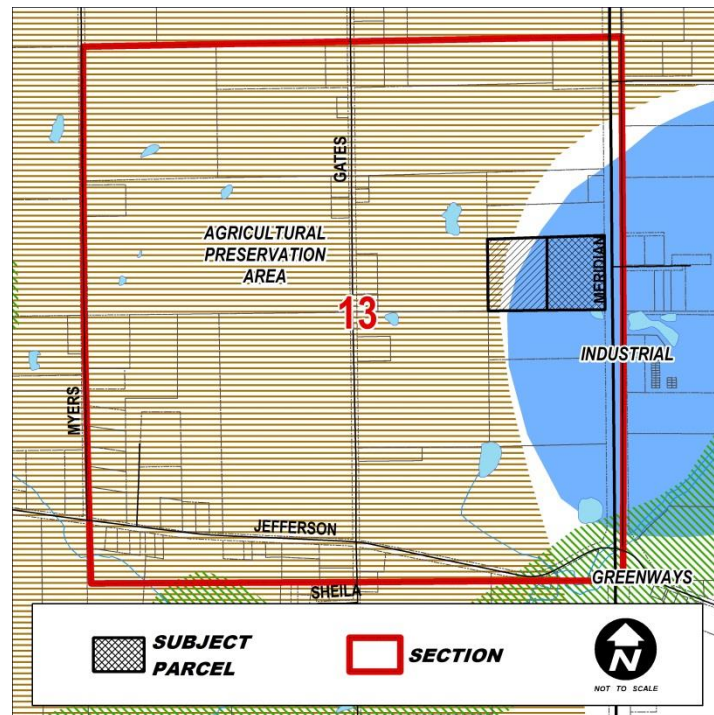


Figure 4
Generalized Municipal Zoning

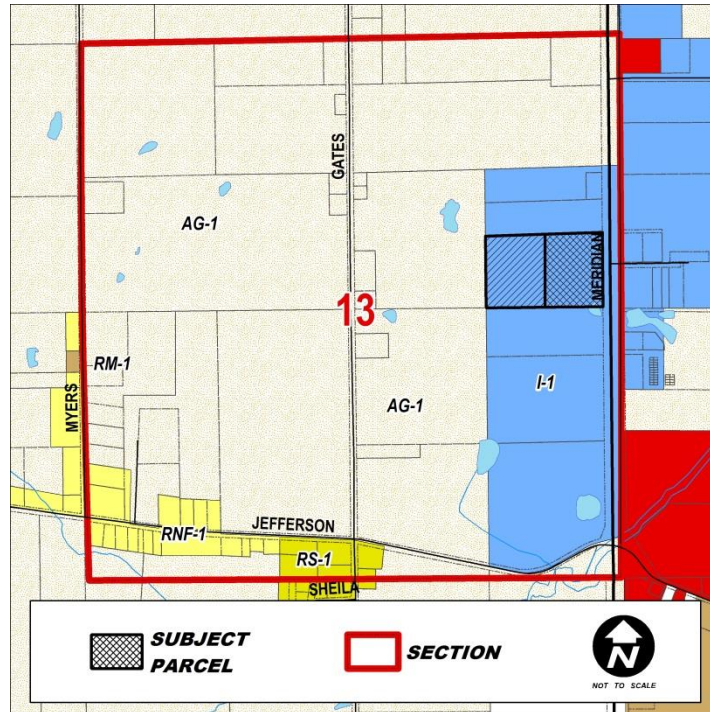


Figure 5a
Aerial Photo

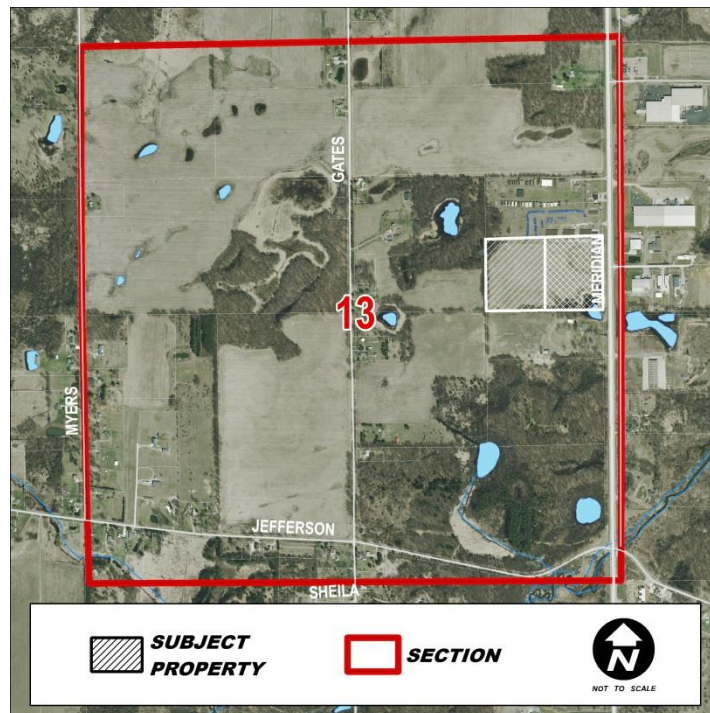
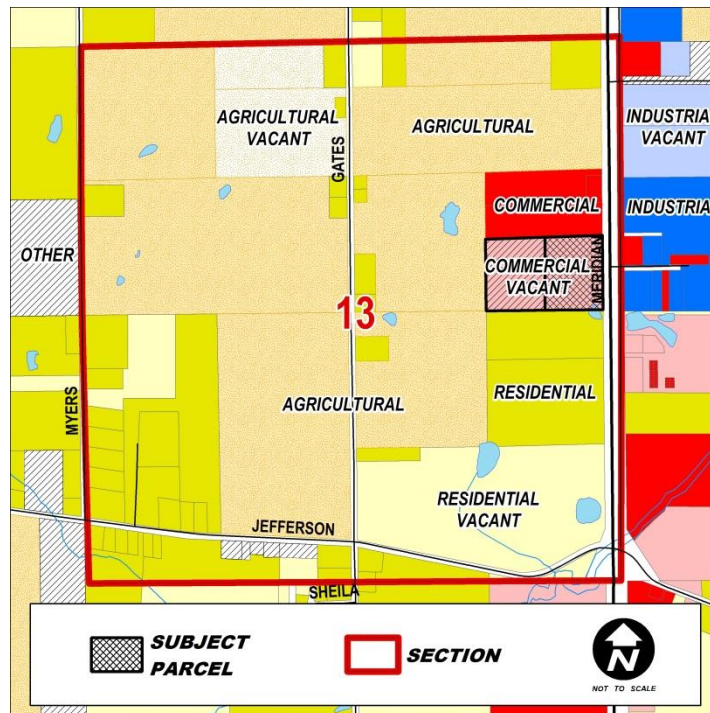


Figure 5b
Aerial Photo



Figure 6
Property Assessment



REZONING WORKSHEET FORM

RECEIVED

MAR 13 2016



JACKSON COUNTY PLANNING COMMISSION (COORDINATING ZONING)

Per _____

Return to: Jackson County Planning Commission • c/o Region 2 Planning Commission • 120 W. Michigan Avenue • Jackson, Michigan 49201

Please submit with the "Zoning Amendment Form" for a district boundary change (rezoning), not a text amendment.

Township of: LIBERTY Township Case #: 2016-01

Township official we may contact: DAVID D. TERIACO Phone #: (517) 529 - 4374

Applicant: EMPIRE OFFICE PRODUCTS LLC Phone #: (517) 768 - 0200

Rezoning Request: From: LI-1 EAST 1/2 () To: C-1 WEST 1/2 ()

Property Location: Section(s): 13 Quarter Section(s): NW NE SW SE

Legal Description and/or Survey Map/Tax Map (please attach) Yes No (Please do not use only the Parcel ID Number)

Parcel Size (if more than one parcel, label "A" - "Z"): A = 656.21' X 664.15'
B = 655.67' X 660.11'

Please attach location map Yes No

What is the existing use of the site? VACANT

What is the proposed use of the site? C-1 RETAIL FLOOR COVERING Store 10,320 SQ FT
I-1 Storage UNITS

What are the surrounding uses (e.g.: agriculture, single-family residential, highway commercial, etc.)?

North: AGRICULTURAL South: SAME
East: SAME West: SAME

What are the surrounding Zoning Districts?

North: () South: ()
East: () West: ()

What is the suggested use of the site on the Township's Land Use Plan map? _____

Is municipal water currently available? Yes No Will it be made available? Yes No If yes, when? _____

Is municipal sewer currently available? Yes No Will it be made available? Yes No If yes, when? _____

Does the site have access to a public street or road? Yes No If yes, name US 127 SOUTH

Are there any known environmental constraints on the site? Yes No

Wetland(s) Floodplain(s) Brownfield(s) Soil(s) Other (please specify) _____

Please attach the minutes of the Planning Commission.

Yes, the minutes are attached. No, the minutes are not attached.

Please attach copies of any reports, exhibits or other documented provided to the Planning Commission.

Yes, copies of documentation are attached. No, copies of documentation are not attached.

Please attach any public comments, letters, or petitions.

Yes, public comments are attached. No, public comments are not attached.

Please include any additional information or comments as an attachment.

ZONING AMENDMENT FORM

**JACKSON COUNTY RESOLUTIONS AND LEGISLATIVE COMMITTEE
(COORDINATING ZONING)**

Return all copies to: Region 2 Planning Commission, County Building, Jackson, Michigan 49201

*Please include a legal description or survey on rezoning requests and the Planning Commission minutes with this form.
Form to be submitted in quadruplet. Use separate set of forms for each proposed zoning change.*

THE TOWNSHIP ZONING BOARD OF Liberty TOWNSHIP submits the following proposed zoning change to the Jackson County Resolutions and Coordinating Committee for it's recommendations:

ANSWER EITHER A and/or B

A. LEGAL DESCRIPTION AND LOCATION: (use this space for legal and popular property description and number of acres, attach additional sheets if more space is needed and attach copy of map showing all changes and additions)

SEE ATTACHED

1. The above described property is a zoning change FROM LI-1 EAST HALF ZONE TO C-1 WEST HALF ZONE.
2. PURPOSE OF CHANGE: _____

B. PROPOSED CHANGE IS A CHANGE IN THE TEXT OF THE ZONING ORDINANCE:

The following Article and Section is amended or altered: ARTICLE _____ SECTION _____

The NEW SECTION reads as follows: _____

C. PUBLIC HEARING on the above amendment was held: month 2 day 25 year 2016

D. NOTICE OF PUBLIC HEARING was published the following two days:
month 2 day 8 year 2016 month 2 day 15 year 2016
(First notice to be printed not more than 30 days nor less than 20 days; the second notice to be printed not more than 8 days before date of hearing)

E. NEWSPAPER, having general circulation in township, carrying NOTICE OF HEARING: EXPONENT
(name of newspaper)

The PROPOSED ZONING AMENDMENT described herein was duly considered by the Township Zoning Board and shall be forwarded to the Township Board with a recommendation to (APPROVE) (DISAPPROVE).

Frank Chroate Chairman Towship Markowski Secretary 2-25-16 Date

COUNTY COMMITTEE ACTION:

1. Date of Meeting: month _____ day _____ year _____
2. The Committee herewith certifies receipt of the proposed amendment, and on the above date:
 - () Recommends APPROVAL of the zoning change
 - () Recommends DISAPPROVAL of the zoning change for reasons stated in the enclosed letter.
 - () Recommends APPROVAL with modifications for reasons stated in the enclosed letter.
 - () Takes NO ACTION.

_____ Chairman _____ Member _____ Member
_____ Member _____ Member

TOWNSHIP BOARD ACTION:

1. Date of Meeting: month _____ day _____ year _____
2. The _____ Township Board herewith certifies that a legally constituted meeting held on the above date
() PASSED, () DID NOT PASS, () REFERRED ANEW to the Township Zoning Board the recommended change contained herein.

Township Clerk

Rezoning Descriptions

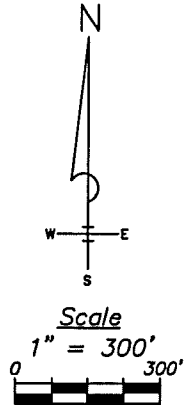
Part of the NE 1/4 of
Sec. 13, T4S, R1W
Liberty Twp., Jackson County, MI

For:
Joe Ellison

S. Meridian Rd.
(US-127)

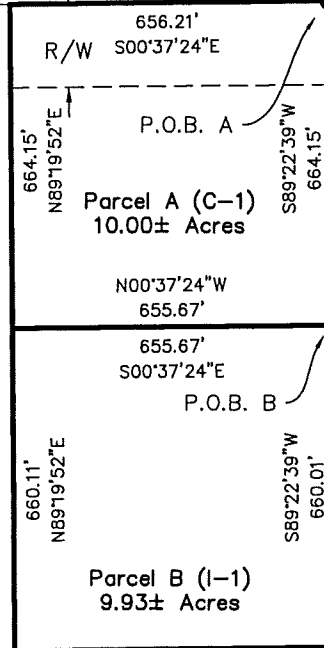
East 1/4 Corner
Sec. 13

East Line Sec. 13



Reference
See Previous SSC Survey
Dated 7-10-15

Basis of Bearings
State Plane Coordinate System
Michigan South Zone 2113 (G12AUS)



Parcel A Legal Description (To be Rezoned to C-1):

A parcel of land in the Northeast 1/4 of Section 13, Town 4 South, Range 1 West, Liberty Township, Jackson County, Michigan, more particularly described as:

Beginning at the East 1/4 Corner of said Section 13, thence S89°22'39"W along the East-West 1/4 Line of said section, 664.15 feet; thence N00°37'24"W 655.67 feet; thence N89°19'52"E 664.15 feet to the East Line of said section; thence S00°37'24"E along said East Line, 656.21 feet to the **Point of Beginning**. Containing 10.00 acres, more or less.

Subject to the rights of the public to S. Meridian Road (US-127). Also to all easements and restrictions, if any.

Parcel B Legal Description (To Remain Zone I-1):

A parcel of land in the Northeast 1/4 of Section 13, Town 4 South, Range 1 West, Liberty Township, Jackson County, Michigan, more particularly described as:

Commencing at the East 1/4 Corner of said Section 13, thence S89°22'39"W along the East-West 1/4 Line of said section, 664.15 feet to the **Point of Beginning** of this description; thence continuing S89°22'39"W along the East-West 1/4 Line of said section, 660.01 feet; thence N00°37'55"W along the West Line of the East 1/2 of said Northeast 1/4, a distance of 655.14 feet; thence N89°19'52"E 660.11 feet; thence S00°37'24"E 655.67 feet to the **Point of Beginning**. Containing 9.93 acres, more or less.

Subject to all easements and restrictions, if any.

FILE NAME: 3665.DWG

JOB # :	2015.3665
DRAWN :	RST
DATE :	3-1-16
SCALE :	1" = 300'
PAGE :	1 OF 1



SHERIDAN SURVEYING CO.

910 Fifth Street

Michigan Center, MI 49254

Parcel A Legal Description (To be Rezoned C-1):

A parcel of land in the Northeast 1/4 of Section 13, Town 4 South, Range 1 West, Liberty Township, Jackson County, Michigan, more particularly described as:

Beginning at the East 1/4 Corner of said Section 13, thence S89°22'39"W along the East-West 1/4 Line of said section, 664.15 feet; thence N00°37'24"W 655.67 feet; thence N89°19'52"E 664.15 feet to the East Line of said section; thence S00°37'24"E along said East Line, 656.21 feet to the **Point of Beginning**. Containing 10.00 acres, more or less.

Subject to the rights of the public to S. Meridian Road (US-127). Also to all easements and restrictions, if any.

Parcel B Legal Description (To Remain Zone I-1):

A parcel of land in the Northeast 1/4 of Section 13, Town 4 South, Range 1 West, Liberty Township, Jackson County, Michigan, more particularly described as:

Commencing at the East 1/4 Corner of said Section 13, thence S89°22'39"W along the East-West 1/4 Line of said section, 664.15 feet to the **Point of Beginning** of this description; thence continuing S89°22'39"W along the East-West 1/4 Line of said section, 660.01 feet; thence N00°37'55"W along the West Line of the East 1/2 of said Northeast 1/4, a distance of 655.14 feet; thence N89°19'52"E 660.11 feet; thence S00°37'24"E 655.67 feet to the **Point of Beginning**. Containing 9.93 acres, more or less.

Subject to all easements and restrictions, if any.

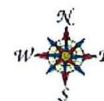
PARCEL DATA SHEET - PARCEL ID: 000-18-13-276-001-03



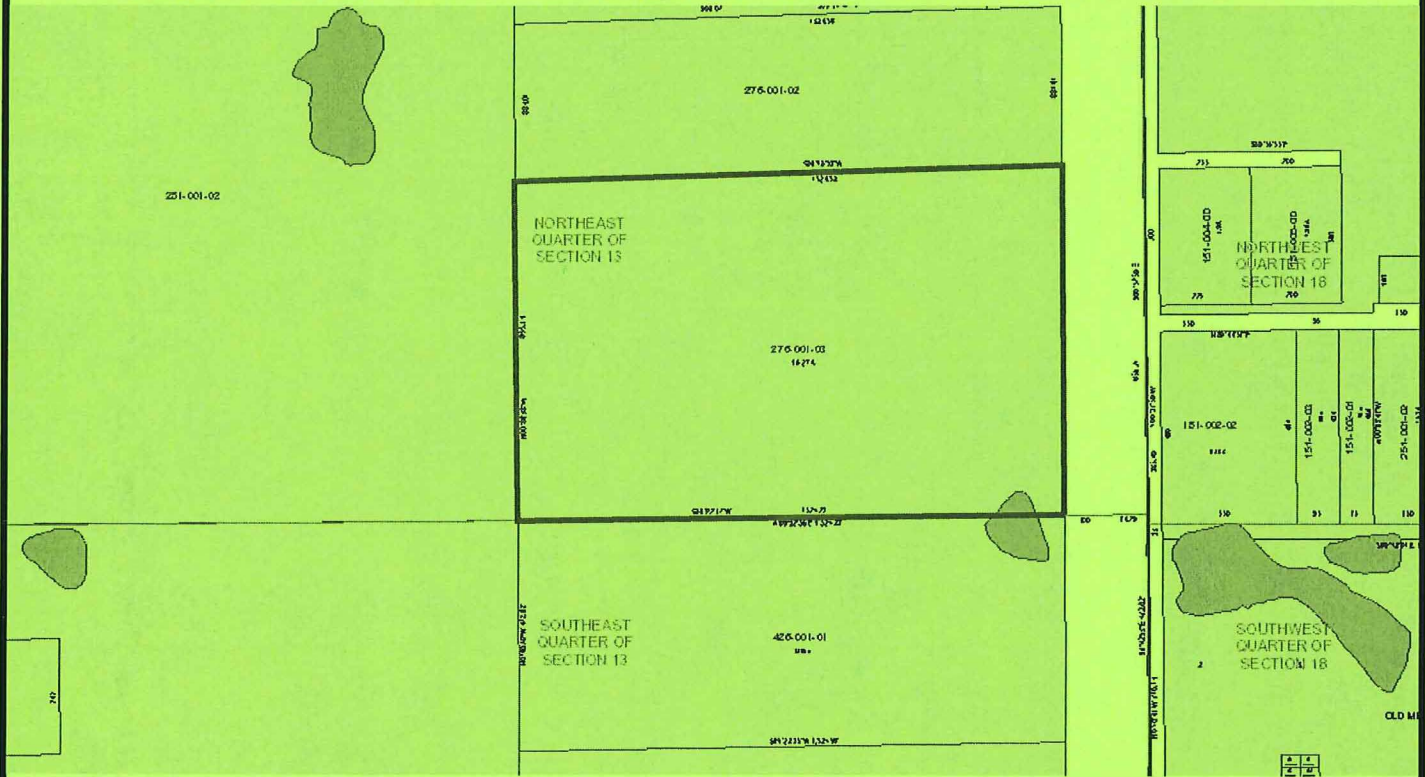
OWNER NAME	EMPIRE OFFICE PRODUCTS	TAXABLE VALUE	2013	2014	2015
OWNER ADDRESS	314 N WISNER ST	ASSESSED VALUE	\$19,139	\$19,445	\$51,800
HOMESTEAD	JACKSON MI 49201	TAX DESCRIPTION	\$23,400	\$32,400	\$51,800
PARCEL ADDRESS	9500 S MERIDIAN RD	BEG AT NE COR OF SEC 13 TH S 0°37'59"E 1992.24 FT TO POB TH			
PROPERTY CLASS	202 - COMMERCIAL VACANT	S0°37'59"E 656.21 FT TH S89°22'17"W 1324.22 FT TH N00°38'33"W			
STATUS	Active	655.14 FT TH N89°19'30"E 1324.32 FT TO BEG. SEC 13 T4S R1W.			
ACREAGE	19.93 Acres	19.93A (17.353A W OF ROW OF HWY US-127).			
GOV'T UNIT	Liberty				
TAX UNIT	Liberty				
SCHOOL DISTRICT	COLUMBIA SCHOOL				
LIBER/PAGE	2045-0102				



This generated map is provided to allow easy access and visual display of governmental information and services, as well as to information from other sources. Every reasonable effort has been made to ensure the accuracy of the maps and data provided; nevertheless, some information may not be accurate. The burden of determining the accuracy, timeliness, completeness, merchantability, and fitness or appropriateness of use rests solely on you, the user. The parcel data on this sheet was last updated on March 08, 2016.



PARCEL DATA SHEET - PARCEL ID: 000-18-13-276-001-03



OWNER NAME	EMPIRE OFFICE PRODUCTS	TAXABLE VALUE	2013	2014	2015
OWNER ADDRESS	314 N WISNER ST JACKSON MI 49201	ASSESSED VALUE	\$19,139	\$19,445	\$51,800
HOMESTEAD	0%	TAX DESCRIPTION	\$23,400	\$32,400	\$51,800
PARCEL ADDRESS	9500 S MERIDIAN RD CLARKLAKE MI 49234	BEG AT NE COR OF SEC 13 TH S 0°37'59"E 1992.24 FT TO POB TH S0°37'59"E 656.21 FT TH S89°22'17"W 1324.22 FT TH N00°38'33"W 655.14 FT TH N89°19'30"E 1324.32 FT TO BEG. SEC 13 T4S R1W. 19.93A (17.353A W OF ROW OF HWY US-127).			
PROPERTY CLASS	202 - COMMERCIAL VACANT				
STATUS	Active				
ACREAGE	19.93 Acres				
GOV'T UNIT	Liberty				
TAX UNIT	Liberty				
SCHOOL DISTRICT	COLUMBIA SCHOOL				
LIBER/PAGE	2045-0102				



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APPLICATION TO INITIATE A ZONING AMENDMENT
LIBERTY TOWNSHIP
JACKSON COUNTY, MICHIGAN

EMPIRE OFFICE PRODUCTS L.L.C.
Applicant Name

314 N. WESNER ST.
Applicant Address
JACKSON, MI 49202

ROBERT DOYLE + JOE ELLISON
Applicant Name

517-768-0200
Applicant Address

hereby files this application with the Liberty Township office to:
amend the map of Zoning Ordinance by re-zoning the property described below to
another classification:

FROM: I-1
Zoning District

TO: C-1 AND I-1
Zoning District

Legal Description and Location:

PARCEL ID: 000-18-13-276-001-03

9500 S. MERIDIAN RD, CLARLAKE MI 49234

Reason for requesting zoning change, including intended use of building, structure or
land: C-1 TO BE USED AS A RETAIL FLOOR COVERINGS STORE
I-1 FUTURE DEVELOPMENT SUCH AS STORAGE UNITS

Submit map, drawn to scale, in sufficient detail to adequately describe the proposed
changes in zoning district boundaries:

Fee \$ 350⁰⁰

[Signature]
Signature of Applicant

1-12-16
Date

[Signature]
Signature of Applicant

1-14-16
Date

Notice of Hearing Published: _____
Date of Meeting: _____

The Board Herewith Certifies Receipt of The Proposed Amendment, And On The Above
Date:

- Recommends APPROVAL Of The Zoning Change
- Recommends DISAPPROVAL Of The Zoning Change For Reasons Stated
- Recommends APPROVAL With Modifications For Reasons Stated
- Takes No Action

Liberty

101 West Liberty Road
Clarklake, Michigan 49234



Township

Phone (517) 529-4374
Fax (517) 529-9066

January 27, 2016

Dear Property Owners:

Please be advised that on Thursday February 25th, 2016 at 7:00pm the Liberty Township Planning Commission will hear a request from Joe Dunigan of Six Brothers Partnership Inc. of 911 E South Street, Jackson, MI 49203 for a re-zoning of property located in Liberty Township at 2928 Loomis Road, Jackson, MI 49201 also known as parcel ID# 000-18-01-426-003-04, they are asking to rezone 12.960 acres of the 23.75 acres parcel from A-1 Agricultural to L-1 Light Industrial. They want to fence in area for storage yard including storage building and gravel parking with 4 foot tall fence.

Also be advised that the Planning Commission will also hear an additional re-zoning request from Robert Doyle & Joe Ellison of Empire Office Products of 314 N Wisner Street, Jackson, MI 49201 to rezone property located at 9500 S. Meridian Road, Clarklake, MI 49234 also known as parcel ID# 000-18-13-276-001-03 a 19.93 acre parcel of which 10 acres at the road on east side from L-1 Light Industrial to C-1 General Commercial for the use or Retail Floor Covering Store and remainder 9.93 to the rear west side of property L-1 Light Industrial for future Development such as storage unites.

Please feel free to attend this meeting if you have any questions or concerns, if you are unable to attend but would like your concerns heard, please send in a letter to the township address to Planning Commission members with your question or concerns and I will make sure the chairperson receives it.

Thank you for your time in this matter.

Sincerely,

A handwritten signature in black ink, appearing to read 'Sharon Warblow', written over a large, light-colored oval scribble.

Sharon Warblow, Liberty Township Clerk

Cc: file

Jason & Erica Doughty, Paul & Nancy Meade, Keith & Joann Blackmere, Thomas & Karlyn Lockwood, Great Northern Hay & Cattle Co., Liberty Environmentalist's, Inc. Michigan Material & Aggregates Co., RMT Properties LLC, Cynthia Partee

KC Investments LLC, Martin Wisniewski, Dekarske LLC, Martin Boot, Fred & Mary Newton, Youell Co LLC, Samuel & Debra Campell, Paula Thornsbury, Charles & Lee Development LLC

000-19-18-151-004-00
KC INVESTMENTS LLC
9325 S MERIDIAN RD
CLARKLAKE MI 49234

000-18-13-276-001-03
EMPIRE OFFICE PRODUCTS
314 N WISNER ST
JACKSON MI 49201

000-18-13-276-001-02
WISNIEWSKI MARTIN J ETAL
110 W PRINCESS
BROOKLYN MI 49230

000-19-18-151-002-02
DEKARSKE LLC
4695 INDUSTRIAL DR
CLARKLAKE MI 49234

000-19-18-326-001-00
BOOT MARTIN J
807 RED MILL DRIVE
TECUMSEH MI 49286

000-18-13-401-001-00
NEWTON FRED A & MARY A ETAL
9745 GATES RD
CLARKLAKE MI 49234

000-19-18-251-001-04
YOUELL CO LLC
34 WILDFLOWER WAY
JACKSON MI 49203

000-18-13-251-001-02
CAMPBELL SAMUEL & DEBRA REV LIV TR
9375 GATES RD
CLARKLAKE MI 49234

000-18-13-426-001-01
THORNSBURY PAULA M
511 SKYLINE DR
HORTON MI 49246

000-19-18-301-001-25
CHARLES & LEE DEVELOPMENT LLC
184 CANNES CIR
BROOKLYN MI 49230

Notice hereby given that Liberty Township Planning Commission will here two requests for re-zoning on Thursday February 25th, 2016 at 7:00pm at the Liberty Township Hall located at 101 W Liberty Road, Clarklake, MI 49234. Request from Joe Dunigan of Six Brothers Partnership of 911 E South Street, Jackson, MI 49201 is asking to rezone property located at 2928 Loomis Road, Jackson, MI 49201 also known as parcel ID 000-18-01-426-003-04 a 23.75 acre parcel and rezone 12.960 acres from A-1 Agricultural to L-1 Light Industrial for the uses of storage yard including storage building and gravel parking and 4 foot tall fence. Also request from Robert Doyle and Joe Ellison of Empire Office Products of 314 N Wisner Street, Jackson, MI 49201 would like to rezone property located at 9500 S Meridian Road, Clarklake, MI 49234 also known as parcel ID 000-18-13-276-001-03 a 19.93 acres parcel of which 10 acres at the road on east side from L-1 Light Industrial to a C-1 General Commercial to have a Retail Floor Covering Store and remainder 9.93 to the rear west side of property for Future Development such as storage units. Sharon Warblow, Liberty Township Clerk

PLANNING COMMISSION MEETING
February 25, 2016 at 7:00 p.m.

MINUTES

CALL TO ORDER

Chairperson Hank Choate called the February 25, 2016 meeting to order at 7:00 p.m. The meeting was opened with the Pledge of Allegiance.

ROLL CALL

Members Present: Hank Choate, Leon Densmore, Jim Howe, Joe Dunigan, Joyce Leinbach, and Evelyn Markowski.

Members Absent: Kirk Mercer

Staff Present: Substitute Recording Secretary Sue White, Supervisor Jim Spink, Treasurer Gloria Michaels, and Zoning Administrator Dave Teriaco.

APPROVAL OF MINUTES

Motion by Evelyn Markowski supported by Joe Dunigan to approve the June 16, 2015 Planning Commission meeting minutes as presented with no corrections. All in favor. Motion carried. (6) Yeas. (0) No.

APPLICATIONS FOR ZONING CHANGE

There were two separate applications for zoning changes.

The first Applicant was Joseph Ellison and Robert Doyle of Empire Office Products L.L.C. owners of property address 9500 S. Meridian Rd., Clarklake, MI, Parcel I.D. # 000-18-13-276-001-03, currently zoned I-1. The applications are for a zoning of C-1 to be used as a retail floor covering store and I-1 for future development such as storage units.

Zoning Administrator Teriaco summarized the application adding that no responses to the letters sent to residents were received.

PUBLIC COMMENT

No public comments made at the meeting.

ROLL CALL VOTE / MOTION TO APPROVE

Motion to grant the requested zoning change made by Joe Dunigan supported by Leon Densmore. No further questions or comments. All in favor. Motion carried. (6) Yeas. (0) No.

APPLICATIONS FOR ZONING CHANGE – No. 2

The second applicant for a zoning change was Dave Dunigan of Six Brothers Partnership Inc., owner of Property Address 2895 Loomis Rd., Parcel I.D. # 000-18-01-426-003-04 to change zoning from AG to Commercial for a 13 acre storage unit on Meridian Road.

Questions of the board regarding the split of the land were addressed by Dave Teriaco stating that the assessor, Bruce Little is handling that part of this. In the end it will be a stand alone parcel. Evelyn Markowski asked what kind of outdoor storage would be involved and would there be any fencing. Dave Dunigan said they would be storing boats and construction equipment and yes they would be fencing it. Discussion followed.

PUBLIC COMMENT

No public comments made at the meeting.

MOTION TO APPROVE

Motion to gran the requested zoning change made by Evelyn Markowski supported by Jim Howe. Motion carried. (5) Yeas. (0) No. (1) Abstain, Joe Dunigan.

LETTER OF RESIGNATION

Letter of resignation received from Rebecca Smerdel, Recording Secretary effective February 9 was read by Hank Choate.

MOTION TO ACCEPT RESIGNATION

Motion to accept resignation of Rebecca Smerdel as Recording Secretary made by Leon Densmore supported by Evelyn Markowski. All in favor. Motion carried. (6) Yeas. (0) No.

TOWNSHIP MASTER PLAN

Jim Spink, Township Supervisor advised that the current master plan was created in 1996 and should be updated. He introduced Tim Rogers and Amy Torres from the Enterprise Group, Jim Shotwell of County Commissioners Office and Grant Bauman from Region II, who he invited to give support regarding the township master plan.

The Master Plan would have to go through the County Planning Commission for its review and recommendation prior to adoption and the State of Michigan has a very detailed and mandated Master Plan approval process which takes approximately 3 months.

MOTION TO UPDATE MASTER PLAN

Motion to move forward with the revision and update of the Master Plan made by Joe Dunigan supported by Evelyn Markowski. No further questions or comments. All in favor. Motion carried. (6) Yeas. (0) No.

MOTION TO ADJOURN

Motion to adjourn meeting at 8:00 p.m. made by Evelyn Markowski, supported by Jim Howe. All in favor. Motion carried. (6) Yeas. (0) No.

Planning Commission Member

Planning Commission Member

Sue White, Recording Secretary

SECTION 4.3 - COMMERCIAL DISTRICT

4.3.1 Commercial District (C-1)

The Commercial District is designed to allow limited commercial enterprises at appropriate locations to encourage efficient traffic movement, parking, and utility service; advance public safety; and protect surrounding property. The commercial district is intended to regulate the location of commercial uses according to a well—considered zoning plan which determined the appropriate location and intensity of commercial uses with consideration given to the capability of public infrastructure; potential nuisances and hazards which may cause unsafe conditions; and the relationship of commercial uses to each other and to other areas devoted to agricultural, residential, or industrial use and to streets and highways.

The Commercial District is intended to allow local commercial uses as permitted uses and general commercial uses as conditional uses. Local commercial uses provide convenient goods and personal services that meet the regular and recurring needs of the neighborhood resident population. General commercial uses provide convenience and comparison goods and personal and professional services for the entire area.

A. Permitted Uses:

1. Personal services, including barber shops and beauty salons; medical and dental clinics; dry cleaners and self—service laundromats; and sale and repair shops for watches, shoes, radios, and televisions.
2. Business services including banks, loan offices, real estate offices, and insurance offices.
3. Offices of an executive, administrative, or professional nature.
4. Retail sale of foods, drugs, hardware, notions, books, and similar convenience goods.
5. Churches and other buildings of religious worship; museums.
6. Government- or community-owned buildings, but not including schools.
7. Eating and drinking establishments, but not including drive-in types.
8. Business schools including dance schools, music schools, and art schools.
9. Indoor retail sales establishments.

10. Funeral homes.
11. Printing establishments.
12. On-site signs, only in accordance with the regulations as specified in Article V, Section 5.17.4.
13. Essential services and structures of a non-industrial character.
14. Accessory use or structures.

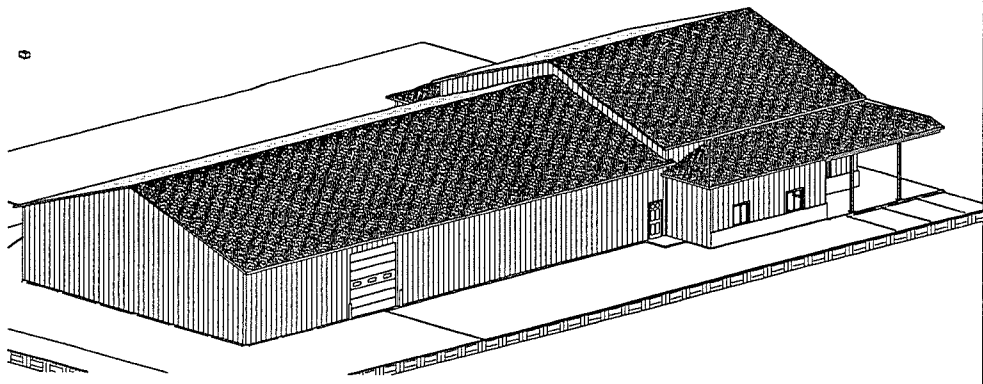
B. Conditional Uses, subject to the provisions of Section 5.3 (as amended 2/13/80).

1. Clubs and fraternal lodges.
2. Hotels or motels.
3. Small animal clinics.
4. Eating and drinking establishments, including drive-in types.
5. Sales, rental, and service of motor vehicles, trailers, and boats.
6. Drive-in and drive-through retail and service establishments, including drive-in theaters.
7. Indoor and outdoor commercial amusement.
8. Automobile repair garages.
9. Indoor commercial amusement and recreation services including theaters, bowling alleys, and roller and ice skating rinks.
10. Automobile service stations.
11. Communication towers as regulated in Section 5.3.10 (G).
12. Uses not specifically authorized as permitted uses or conditional uses in this district, but which are similar in nature to specified permitted or conditional uses, may be authorized as conditional uses in this district so long as they are similar in nature as other uses in the district and consistent with the general intent of the district.

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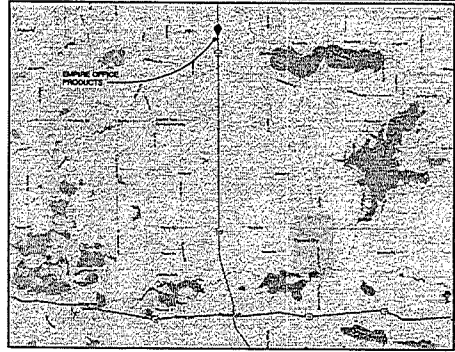
EMPIRE OFFICE PRODUCTS

9500 S. MERIDIAN RD. CLARKLAKE MI, 49234



BUILDING DATA	
PERMITTING JURISDICTION	LIBERTY TOWNSHIP
BUILDING CODE	2012 MICHIGAN RESIDENTIAL BUILDING CODE
MECHANICAL CODE	2012 MICHIGAN MECHANICAL CODE
ELECTRICAL CODE	2008 NEC
PLUMBING CODE	2012 MICHIGAN PLUMBING CODE
FIRE SUPPRESSION: SPRINKLED	NO
BUILDING HEIGHT	27'6" (FROM FINISHED FLOOR)
CONSTRUCTION TYPE	TYPE 5B
USE GROUPS	EAST PORTION (OFFICES) WEST PORTION (STORAGE)
BUILDING AREA	3,720 S.F.
EAST OFFICES	6,600 S.F.
WEST STORAGE	10,230 S.F.
TOTAL BUILDING	
PARKING	
10'X20' TYP. PARKING SPACES	13
10'X20' ADA W/ # AISLE SPACE	1
TOTAL PARKING	14 SPACES

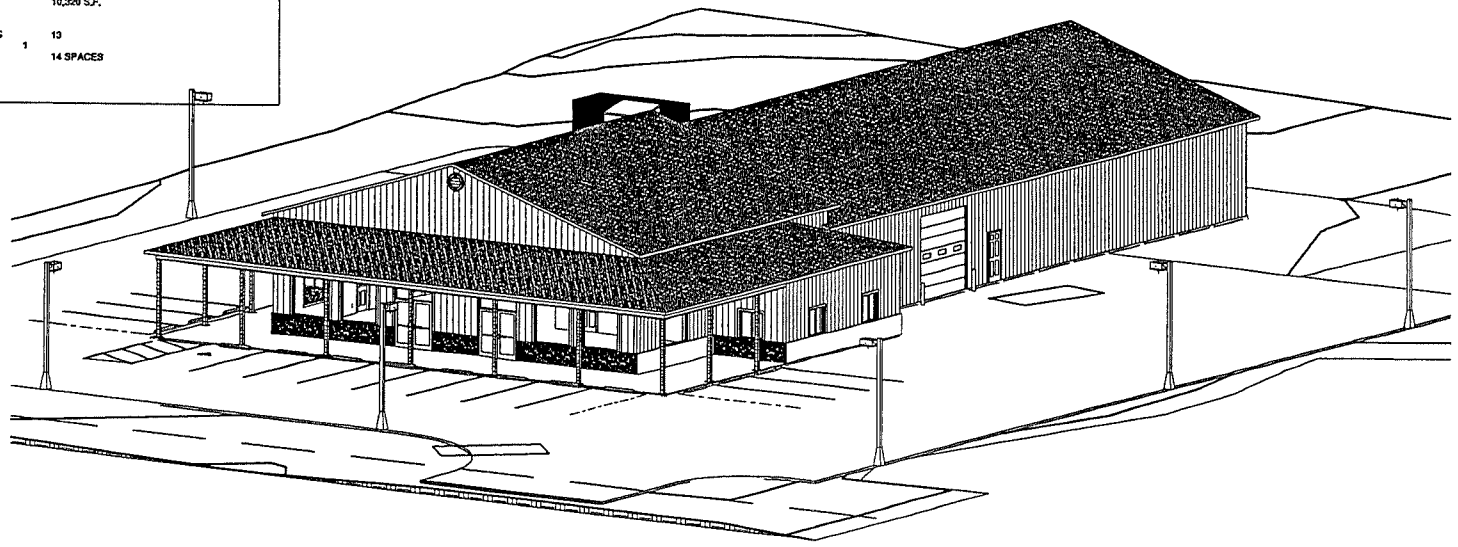
SYMBOL LEGEND	
	CALLOUT TAG
	INDICATOR CENTER LINE
	DOOR TAG NUMBER
	KEYNOTE
Room name	ROOM NAME WITH ROOM NUMBER
101	
	SECTION VIEW WITH NUMBER AND SHEET
	ELEVATION MARK
	VIEW TITLE WITH SCALE
1 / A101	
	WALL TAG
	WINDOW TAG
	NORTH ARROW
1 / A101	VIEW REFERENCE
	COLUMN GRID MARKER
0	
	INTERIOR ELEVATION WITH VIEW NUMBER / SHEET



Drawing List	
Sheet Number	Sheet Name
A000	COVER SHEET
A100	ELEVATIONS
A130	LEVEL 1 FLOOR PLAN
C100	EXISTING SITE PLAN (BY OTHERS)
C110	NEW SITE PLAN
C120	SITE DETAILS
C130	SITE DETAILS
C140	PARKING LIGHTS
C150	MOUND SEPTIC SYSTEM

PROJECT ENGINEER

RICHARD C. MORAN, P.E.
 MORAN ENGINEERING SERVICES LLC
 440 WOODLAND TERRACE
 BROOKLYN, MI 49230
 PHONE: (517) 812-5277
 FAX: (517) 308-9246
 LICENSE # 24557 (MICHIGAN)



SITE PLAN
REVIEW

Moran Engineering Services LLC
 440 Woodland Terrace
 Brooklyn, MI 49230
 (517) 812-5277
 moranllc@comcast.net
 www.moranllc.com



EMPIRE OFFICE PRODUCTS
 9500 S. MERIDIAN RD.
 CLARKLAKE MI, 49234

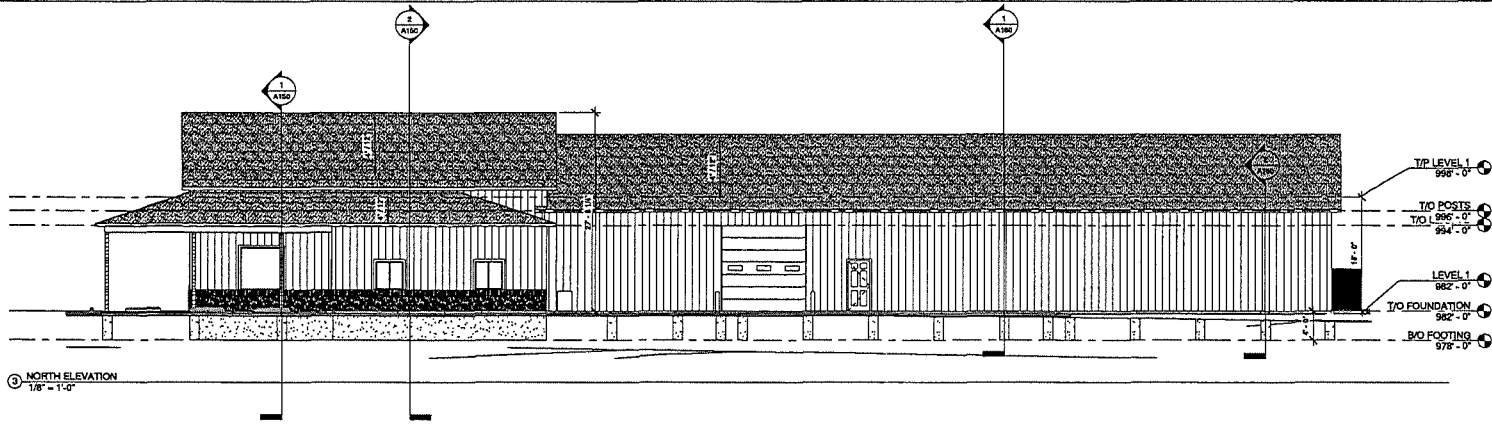
COVER SHEET

Project number	---
Date	---
Drawn by	JM
Checked by	---

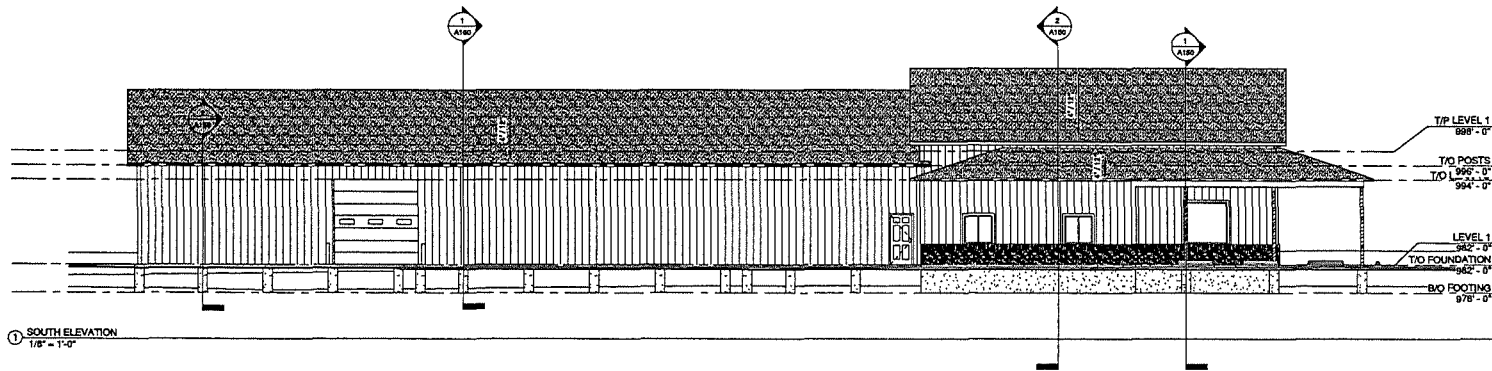
A000
 Scale: 1/4" = 1'-0"

www.MonahanDesign.net

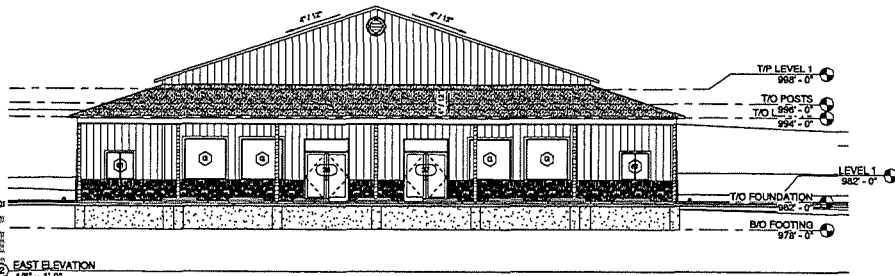
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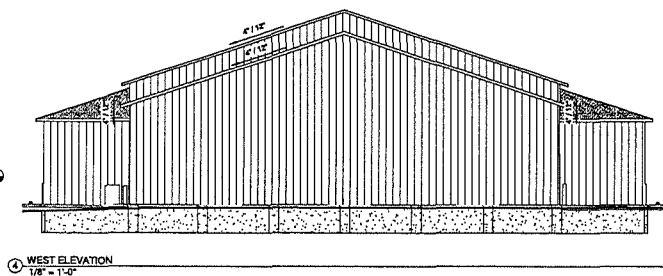
① NORTH ELEVATION
1/8" = 1'-0"



① SOUTH ELEVATION
1/8" = 1'-0"



① EAST ELEVATION
1/8" = 1'-0"



① WEST ELEVATION
1/8" = 1'-0"

SITE PLAN
REVIEW

Moran Engineering Services LLC
 440 Woodland Terrace
 Brooklyn, MI 49230
 (517) 812-5277
 moranlic@comcast.net
 www.moranlic.com



EMPIRE OFFICE PRODUCTS
 800 S. WEBERMAN RD.
 CLARLAKE, MI 49234

ELEVATIONS

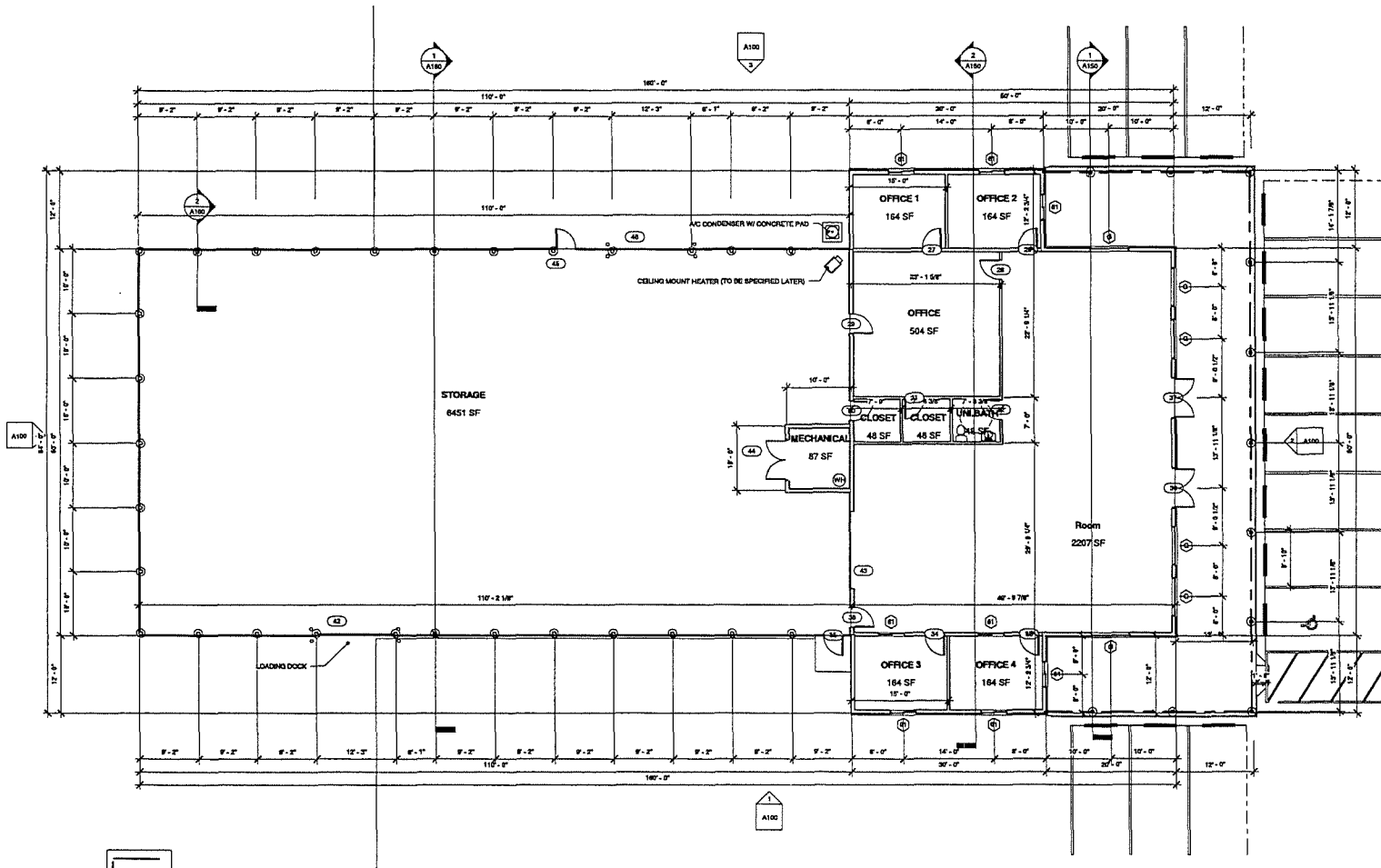
Project number	
Date	
Drawn by	Author
Checked by	Checker

A100
 Scale 1/8" = 1'-0"

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1/6/2016 12:24:41 PM

SITE PLAN
REVIEW



Moran Engineering Services LLC
 440 Woodland Terrace
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 (517) 812-5277
 moranllc@comcast.net
 www.moranllc.com

EMPIRE OFFICE PRODUCTS
 8500 S. MERIDIAN RD.
 CLARK LAKE, MI 49234

LEVEL 1 FLOOR PLAN

Project Number	---
Drawn by	---
Checked by	---
Author	---
Checker	---

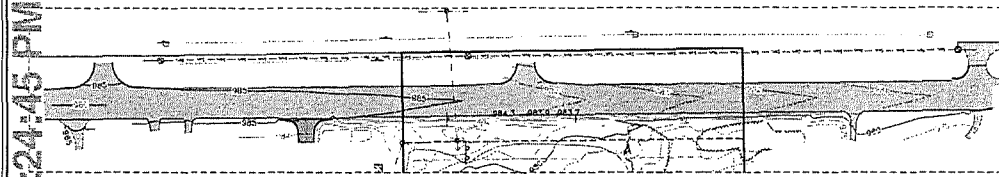
A130

Scale 1/8" = 1'-0"

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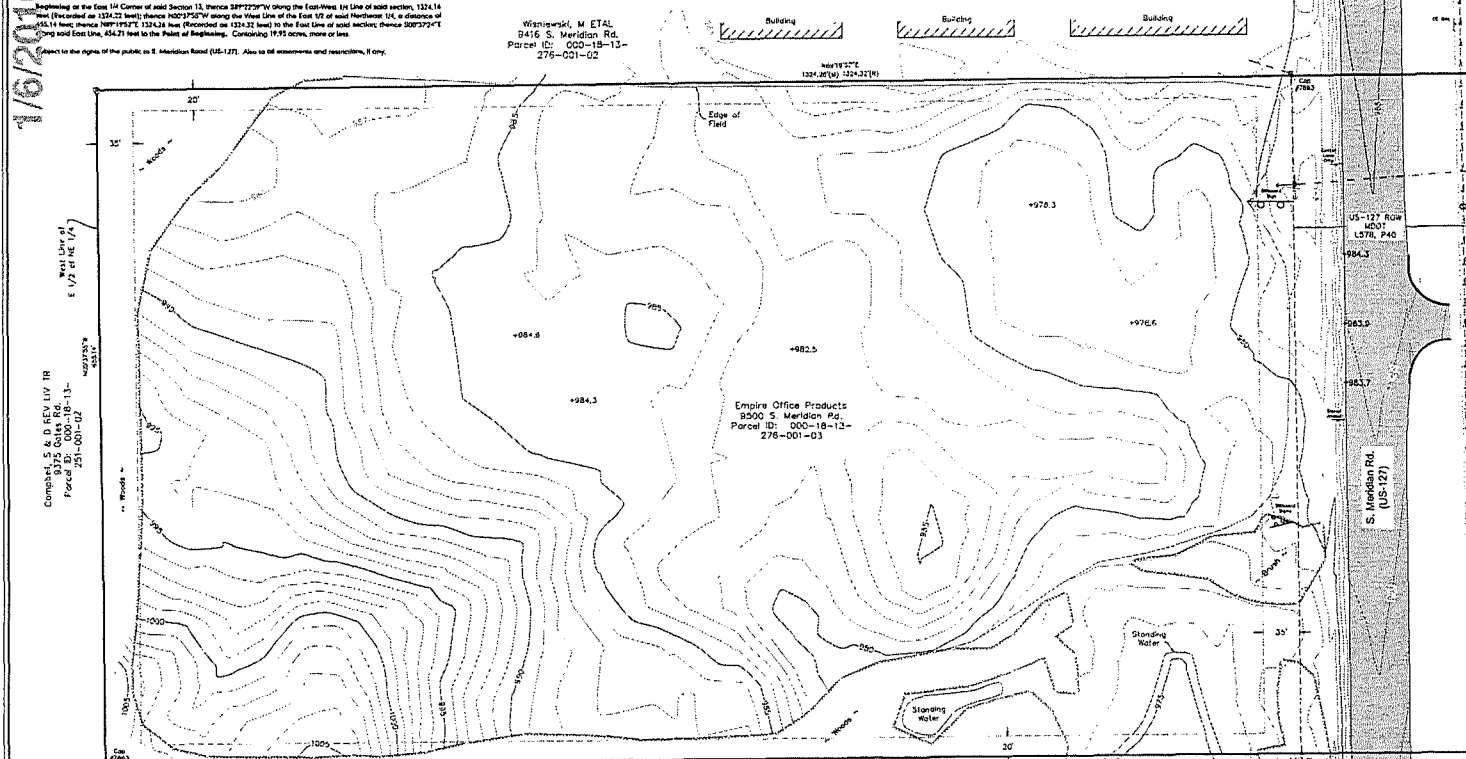
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SITE PLAN REVIEW



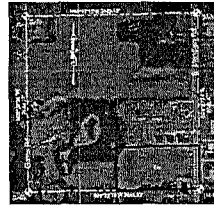
Drive Location Detail
1" = 100'

Legal Description (As Surveyed):
 A parcel of land in the Northeast 1/4 of Section 13, Town 4 South, Range 1 West, Liberty Township, Jackson County, Michigan, more particularly described as:
 Beginning at the East 1/4 Corner of said Section 13, thence 38°17'25"W along the East-West 1/4 Line of said section, 1324.16 feet (Recorded as 1324.23 feet); thence 102°17'52"W along the West Line of the East 1/4 of said Northeast 1/4, a distance of 454.14 feet; thence 89°19'57"E, 1324.23 feet (Recorded as 1324.23 feet) to the East Line of said section; thence 50°27'21"E along said East Line, 454.21 feet to the Point of Beginning. Containing 19.95 acres, more or less.
 Subject to the rights of the public to E. Meridian Road (15-127). Also to all easements and restrictions, if any.

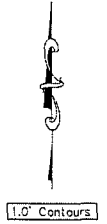


Notes:
 Utilities: Miss Dig was contacted 6-29-15 for utility flagging. Ticket B91200377-009. No utilities were flagged on subject parcel. Utility lines are East of highway.
 Zoning: Light Industrial (I-1).
 Easements: Subject to all easements and restrictions, if any. No title was provided, nor easement documents.
 Warranty Deed: Liber 2045, Page 102.
 Certificate of Survey: Outekunst Surveyors, provided.

Site TBM
 Set Bench 76, South Side W/ Sign Post
 Elevation = 962.12'



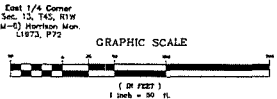
LOCATION MAP
 NOT TO SCALE



BASIS OF BEARINGS
 State Plane Coordinate System
 Michigan South Zone 2113 (124242)

BASIS OF ELEVATION
 NAD83 CGRS VRS Network - NAVD 83

- LEGEND**
- ⊙ Section Corner
 - Found Survey Marker
 - ⊙ Set Rehab w/ Cap #29245
 - (R) Record
 - (M) Measure
 - Utility Pole & Guy Anchor
 - Riser Box
 - Sign
 - Setback Line
 - Overhead Wires
 - Telecommunication Line
 - Gas Line
 - Sanitary Sewer
 - Edge of Road/Drum
 - Concrete
 - Pavement
 - Gravel
 - +976.3 Spot Elevation



REFERENCE DRAWINGS	REV. DATE	DESCRIPTION	BY	APP.	REV. DATE	DESCRIPTION	BY	APP.

SHEPARD SURVEYING CO.
 910 FIFTH STREET
 MICHIGAN CENTER, MI 49254

Empire Office Products
 8500 S. Meridian Road
 Liberty Twp. Jackson County, MI

SCALE: 1" = 50'
 SHEET: 1
 DRAWING NO.: 2015.3665

Moran Engineering Services LLC
 440 Woodland Terrace
 Brooklyn, MI 49230
 (517) 812-5277
 moranllc@comcast.net
 www.moranllc.com



EMPIRE OFFICE PRODUCTS
 8500 S. MERIDIAN RD.
 CLAIRBORO, MI 48224

EXISTING SITE PLAN (BY OTHERS)

Project number: _____
 Date: _____
 Drawn by: _____
 Checked by: _____
 Author: _____
 Checker: _____

C100

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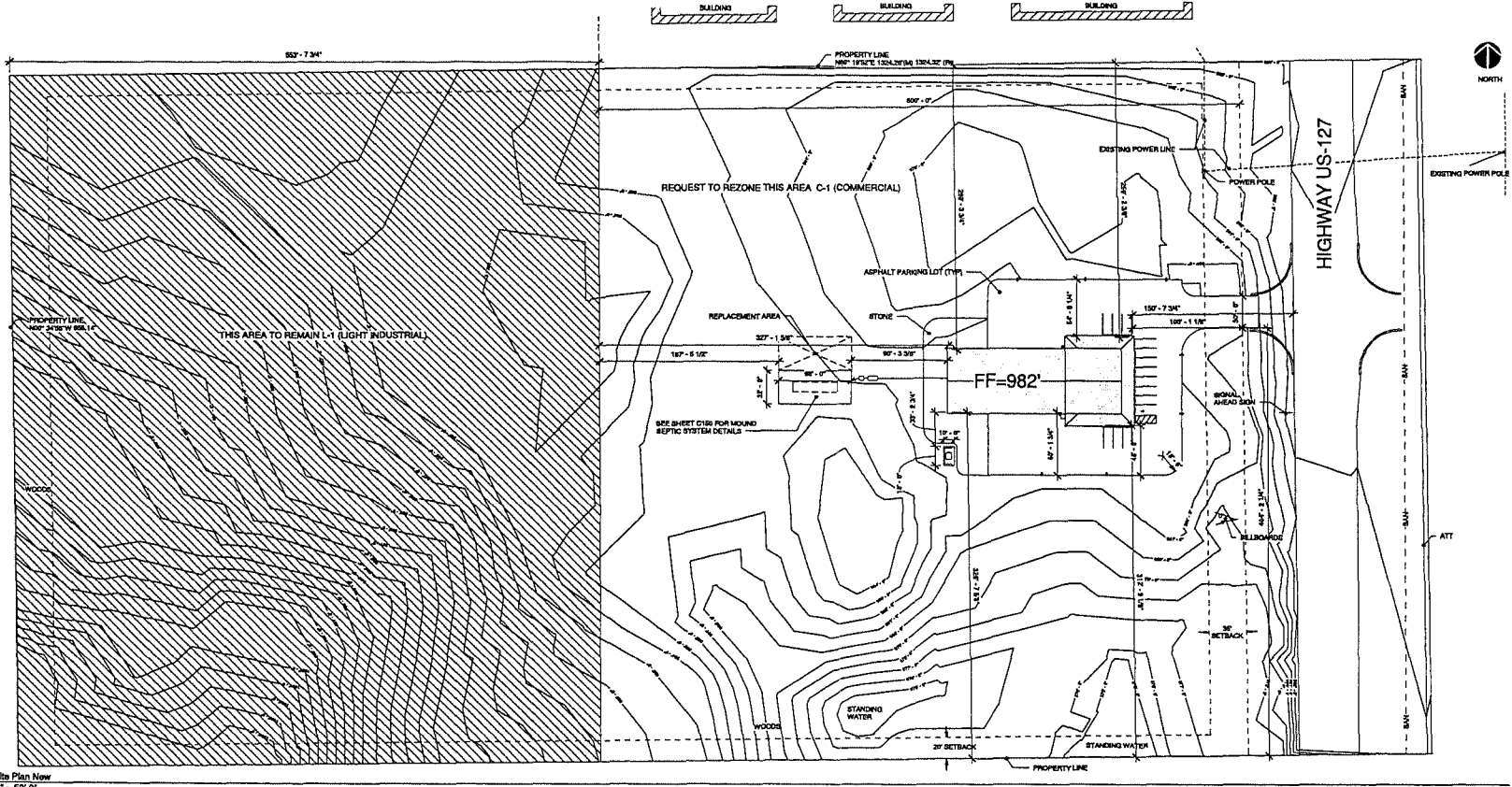
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SITE PLAN REVIEW

SITE DATA		SITE GENERAL NOTES	SOIL EROSION / SEDIMENTATION NOTES	DRAINAGE CALCULATIONS	LEGAL DESCRIPTION (AS SURVEYED)																																																																																																							
<p>PERMITTING JURISDICTION: LIBERTY TOWNSHIP, MI</p> <p>ZONING: C-1 (LIGHT INDUSTRIAL)</p> <p>PROPOSED ZONING: L-1 (LIGHT INDUSTRIAL)</p> <p>TOTAL EXISTING AREA (FROM P.L.O.W.): 166,518 S.F. (APPROX) 3.79 ACRES</p> <p>NEW C-1 AREA (FROM P.L.O.W.): 166,518 S.F. (APPROX) 3.79 ACRES</p> <p>EXIST L-1 AREA TO REMAIN L-1: 166,518 S.F. (APPROX) 3.79 ACRES</p> <p>BUILDING: 27' FROM FINISHED FLOOR TYPE 5B EAST PORTION (OFFICES) WEST PORTION (STORAGE)</p> <p>BUILDING HEIGHT: 27' FROM FINISHED FLOOR TYPE 5B EAST PORTION (OFFICES) WEST PORTION (STORAGE)</p> <p>BUILDING AREA: 3,720 S.F.</p> <p>EAST OFFICES: 3,720 S.F.</p> <p>WEST STORAGE: 15,278 S.F.</p> <p>TOTAL BUILDING FLOOR AREA: 19,000 S.F.</p> <p>BUILDING FOOTPRINT: 12,578 S.F.</p> <p>PROP. AREA (L-1 ZONING) (C-1 ONLY): 26,278 S.F.</p> <p>ASPHALT PARKING LOT AREA: 8,396 S.F.</p> <p>NEAR STONE FIRE LANE</p> <p>PARKING: 10 SPACES</p> <p>10000' TYPE, PARKING SPACES: 14 SPACES</p> <p>10000' AREA IN IF ASBL SPACE: 14 SPACES</p> <p>TOTAL PARKING: 28</p> <p>OCCUPANCY: 28</p>	<p>- ALL PROPERTY MARKS AND MONUMENTS, IF DISTURBED OR DESTROYED BY THE CONTRACTOR, SHALL BE REPLACED BY A MICHIGAN REGISTERED PROFESSIONAL SURVEYOR AT THE CONTRACTOR'S EXPENSE.</p> <p>- LOCATION OF UTILITIES OR OTHER STRUCTURES SHOWN ON THE PLANS ARE TAKEN FROM UTILITY COMPANY OR OTHER RECORDS BELIEVED TO BE RELIABLE. THE OWNER AND ENGINEER ARE NOT RESPONSIBLE FOR ANY CHANGES OR VARIATIONS IN THE LOCATION OF THE UTILITIES ENCOUNTERED IN THE WORK. LOCATIONS TBD</p> <p>- THE CONTRACTOR SHALL NOTIFY 9888 DOW (800) 488-7171, A MINIMUM OF THREE WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION IN THE AREA OF THE WORK.</p> <p>- THE CONTRACTOR SHALL LIMIT HIS CONSTRUCTION TRAFFIC AND EQUIPMENT TO THE AREA DIRECTLY UNDER CONSTRUCTION TO PREVENT DAMAGE TO ANY EXISTING IMPROVEMENTS, AND SHALL PREVENT THE SPREAD OF CONSTRUCTION DEBRIS OUTSIDE OF THE CONSTRUCTION AREA.</p> <p>- ANY UTILITIES, MAINS, SERVICES, UNDERDRAINS, OIL LINES, OR OTHER SIMILAR ITEMS DAMAGED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE UTILITY OWNER IN A MANNER ACCEPTABLE TO THE UTILITY OWNER. ALL COSTS FOR REPAIR OR REPLACEMENT SHALL BE PAID BY THE CONTRACTOR, INCIDENTAL TO THE PROJECT.</p> <p>- TYPE 2 WELL, LOCATION TBD</p> <p>- TRAVEL LIGHTING TO BE EXTRALIGHT OSB-100 100W LED FIXTURE SET AT 14' ABOVE PARKING SURFACE. PROVIDE MOTION ACTUATOR FOR POLE FIXTURES</p> <p>- NEAR EXTERIOR LIGHTING PROVIDED BY WALL FIXTURES TYPICAL</p>	<p>- ALL SOIL EROSION AND SEDIMENTATION CONTROL SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SUBMERGED TOWNSHIP. THE CONTRACTOR SHALL PAY ALL FEES, AND POST ANY BONDS REQUIRED TO OBTAIN A PERMIT FROM LIBERTY TOWNSHIP.</p> <p>- SHOULD IT BE NECESSARY FOR THE CONTRACTOR TO DO ANY DEWATERING DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL FILTER ALL SEWAGE THROUGH A DISCHARGE FILTER. NO DEWATERING DISCHARGE SHALL BE ALLOWED TO FLOW UNFILTERED FROM THE CONSTRUCTION SITE.</p> <p>- THE CONTRACTOR SHALL CONTROL THE DUST CREATED ON THE CONSTRUCTION SITE AT ALL TIMES. DUST CONTROL SHALL BE ACCOMPLISHED BY THE APPLICATION OF DUST CONTROL MATERIALS AND APPLICATION METHODS ACCEPTABLE TO THE AGENCY HAVING JURISDICTION.</p> <p>- SHOULD THE SOIL EROSION AND SEDIMENTATION CONTROL REQUIREMENTS OR THE DUST CONTROL REQUIREMENTS BE VIOLATED, THE OWNER OR AGENCY HAVING JURISDICTION CAN REQUIRE THE CONTRACTOR TO CEASE ALL CONSTRUCTION OPERATIONS UNTIL THE REQUIREMENTS ARE SATISFACTORILY MET.</p> <p>- SOIL EROSION AND SEDIMENTATION CONTROL SHALL BE IN ACCORDANCE WITH PART 91 OF ACT 451 OF PA 1984.</p> <p>- CLEAN ALL ACCUMULATED SEDIMENT FROM CATCH BASINS, SEWERS AND PAVEMENT AREAS AS REQUIRED FOLLOWING COMPLETION OF CONSTRUCTION.</p> <p>- ALL SOIL EROSION MEASURES SHALL BE CHECKED A MINIMUM OF ONCE A DAY.</p> <p>- ALL TRUCKS SHALL CLEAN TIRES OF DIRT BEFORE EXITING CONSTRUCTION SITE.</p> <p>- ANY AND ALL ACCUMULATED SEDIMENT ON STREETS AND ROADS IN THE PROJECT WORTHY SHALL BE SWEEP CLEAN AT LEAST ONCE PER DAY OR AS DIRECTED BY THE ENGINEER.</p>	<p>EXISTING</p> <p>100 Year Storm - existing runoff towards US 127</p> <table border="1"> <thead> <tr> <th>Disc</th> <th>Area</th> <th>Coef</th> <th>Per H</th> <th>Run</th> <th>Depth</th> <th>In Feet</th> <th>Cubic Ft</th> </tr> </thead> <tbody> <tr> <td>Paved</td> <td>0</td> <td>1</td> <td>1.5</td> <td>3</td> <td>4.5</td> <td>0.375</td> <td>0</td> </tr> <tr> <td>Roof</td> <td>0</td> <td>1</td> <td>1.5</td> <td>3</td> <td>4.5</td> <td>0.375</td> <td>0</td> </tr> <tr> <td>Grass</td> <td>104462</td> <td>0.3</td> <td>1.5</td> <td>3</td> <td>4.5</td> <td>0.375</td> <td>10204.8</td> </tr> <tr> <td>Loose Stone</td> <td>0</td> <td>0.25</td> <td>1.5</td> <td>3</td> <td>4.5</td> <td>0.375</td> <td>0</td> </tr> <tr> <td colspan="7">Existing site runoff east:</td> <td>10204.8</td> </tr> </tbody> </table> <p>PROPOSED</p> <p>100 Year Storm - new site runoff towards US 127</p> <table border="1"> <thead> <tr> <th>Disc</th> <th>Area</th> <th>Coef</th> <th>Per H</th> <th>Run</th> <th>Depth</th> <th>In Feet</th> <th>Cubic Ft</th> </tr> </thead> <tbody> <tr> <td>Loose Stone</td> <td>2680</td> <td>0.25</td> <td>1.5</td> <td>3</td> <td>4.5</td> <td>0.375</td> <td>784.875</td> </tr> <tr> <td>Roof</td> <td>13420</td> <td>1</td> <td>1.5</td> <td>3</td> <td>4.5</td> <td>0.375</td> <td>4068.75</td> </tr> <tr> <td>Grass</td> <td>118718</td> <td>0.3</td> <td>1.5</td> <td>3</td> <td>4.5</td> <td>0.375</td> <td>13466.3</td> </tr> <tr> <td>Paved</td> <td>26237</td> <td>1</td> <td>1.5</td> <td>3</td> <td>4.5</td> <td>0.375</td> <td>8875.8</td> </tr> <tr> <td colspan="7">Proposed site runoff east:</td> <td>18275.8</td> </tr> </tbody> </table> <p>Discharge towards station 480+00 on US 127</p> <table border="1"> <thead> <tr> <th></th> <th>Cubic Ft</th> </tr> </thead> <tbody> <tr> <td>Existing</td> <td>10204.8</td> </tr> <tr> <td>Proposed</td> <td>18275.8</td> </tr> <tr> <td>Increase in runoff</td> <td>4177</td> </tr> </tbody> </table>	Disc	Area	Coef	Per H	Run	Depth	In Feet	Cubic Ft	Paved	0	1	1.5	3	4.5	0.375	0	Roof	0	1	1.5	3	4.5	0.375	0	Grass	104462	0.3	1.5	3	4.5	0.375	10204.8	Loose Stone	0	0.25	1.5	3	4.5	0.375	0	Existing site runoff east:							10204.8	Disc	Area	Coef	Per H	Run	Depth	In Feet	Cubic Ft	Loose Stone	2680	0.25	1.5	3	4.5	0.375	784.875	Roof	13420	1	1.5	3	4.5	0.375	4068.75	Grass	118718	0.3	1.5	3	4.5	0.375	13466.3	Paved	26237	1	1.5	3	4.5	0.375	8875.8	Proposed site runoff east:							18275.8		Cubic Ft	Existing	10204.8	Proposed	18275.8	Increase in runoff	4177	<p>A PARCEL OF LAND IN THE NORTHEAST 1/4 OF SECTION 13, TOWN 4 SOUTH, RANGE 1 WEST, LIBERTY TOWNSHIP, JACKSON COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS:</p> <p>BEGINNING AT THE EAST 1/4 CORNER OF THE SAID SECTION 13, THENCE 88°27'30" W ALONG THE EAST-WEST 1/4 LINE OF SAID SECTION, 1524.12 FEET (RECORDED AS 134-22 FEET); THENCE 100°27'30" W ALONG THE WEST LINE OF THE EAST 1/4 OF SAID SECTION 141.4 FEET (RECORDED AS 134-22 FEET); THENCE 88°27'30" W ALONG SAID EAST 1/4 SECTION, THENCE 80°27'30" E ALONG SAID EAST 1/4 SECTION, 1524.12 FEET TO THE POINT OF BEGINNING, CONTAINING 16.8 ACRES, MORE OR LESS.</p> <p>SUBJECT TO THE RIGHTS OF THE PUBLIC TO S. MERIDIAN ROAD (R-177), ALSO TO ALL EASEMENTS AND RESTRICTIONS, IF ANY.</p>
Disc	Area	Coef	Per H	Run	Depth	In Feet	Cubic Ft																																																																																																					
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Increase in runoff	4177																																																																																																											

2 SITE DATA 1

1/4" = 1'-0"



Site Plan Now
1" = 50'-0"

Moran Engineering Services LLC
 440 Woodland Terrace
 Brooklyn, MI 49230
 (517) 812-5277
 moranlic@comcast.net
 www.moranlic.com

EMPIRE OFFICE PRODUCTS

NEW SITE PLAN

Project number: _____
 Date: _____
 Drawn by: _____
 Checked by: _____

C110

Scale: As indicated

www.MonahanDesign.net

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Jackson County Planning Commission

Staffed by the Region 2 Planning Commission (R2PC)
120 W. Michigan Avenue • Jackson, MI 49201
Phone (517) 788-4426 • Fax (517) 788-4635

COORDINATED ZONING REPORT | #16-07

To: County Planning Commissioners
From: Grant E. Bauman, AICP
Date: April 14, 2016

Proposal: Rezoning property from Agricultural (AG-1) to Limited Industrial (I-1)

Purpose

The proposed use for the subject property is the storage of boats and pontoons (see the Zoning Amendment Form and Background Information).¹

Location and Size of the Property

The subject property has an area of 12.96 acres and is located in the southwest corner of Meridian Road (US-127) and Loomis Road in Section 1 (T4S-R1W) of the Township (see Figure 1).

Land Use and Zoning

Current Land Use – The subject property is vacant. The uses of adjacent properties are used agriculturally according to the Township (see the attached Zoning Worksheet Form). However, the subject property and the property to the south are assessed ‘commercial vacant’ and properties to the east (Napoleon Township) are assessed ‘industrial’ (see Figure 6).

Future Land Use – The Township’s current future land use map places the property in an ‘agricultural & vacant’ area, although an ‘industrial’ area along Meridian Road (US-127) extends as far north as Cook Road (see Figure 2). The countywide future land use map in the *Jackson Community Comprehensive Plan* places the subject property in an ‘Agricultural Preservation Area’ (see Figure 3).

Current Zoning – The subject property is zoned Agricultural (AG-1) as are properties to the north, southeast, south, and southwest. Properties to the northwest are zoned Rural Non-Farm (RNF-1) and properties to the northeast (Napoleon Township) are zoned Limited Industrial (LI) (see Figure 4).

Public Facilities and Environmental Constraints

Water and Sewer Availability – Municipal sewer is available according to the Township, but municipal water is unavailable (see the attached Zoning Worksheet Form).

Public Road/Street Access – Direct access is provided by Meridian Road (US-127), a state highway, as well as Loomis Road, a local gravel road (see the 2008 Road Map of Jackson County, Michigan).

¹ Please note that the proposed use is listed for informational purposes only. It should not be utilized in making the rezoning decision. Circumstances may change tomorrow which make the proposed use impractical. All of the uses that the proposed zoning designation would allow are pertinent to the rezoning request.

Environmental Constraints – The Township did not indicate if the subject parcel has any environmental constraints (see the attached Zoning Worksheet Form).

Analysis and Recommendation

Township Planning Commission Recommendation – The Liberty Township Planning Commission recommends **approval** of the proposed rezoning to I-1 (see the attached Zoning Amendment Form and other background information).

Staff Analysis – The township and countywide future land use plan recommend agricultural uses for this property rather than industrial uses. However, the property is already assessed ‘commercial vacant’. Adjacent properties on the east side of Meridian Road (US-127), in Napoleon Township, are zoned Limited Industrial (LI), eliminating the issue of spot zoning.

Staff Recommendation – Based upon this analysis, staff advises the Jackson County Planning Commission to also recommend **APPROVAL WITH COMMENTS** of the rezoning to Light Industrial (I-1). The Township should consider extending the ‘industrial’ land use category on its future land use map northward to Loomis Road.

Suggested Actions:

- (1) Recommend **APPROVAL**
- (2) Recommend **DISAPPROVAL**
- (3) Recommend **APPROVAL WITH COMMENTS**
- (4) Take **NO ACTION**

**Figure 1
Location**

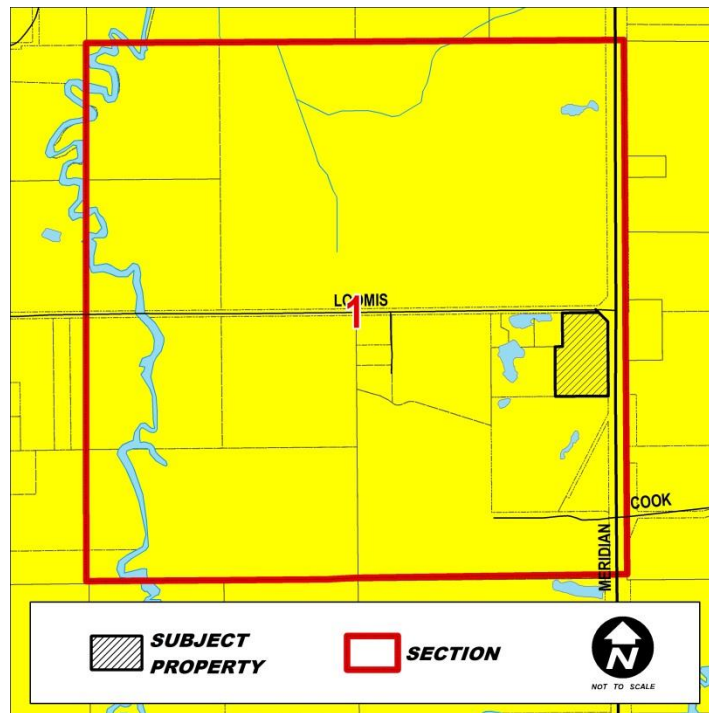


Figure 2
Generalized Municipal Future Land Use

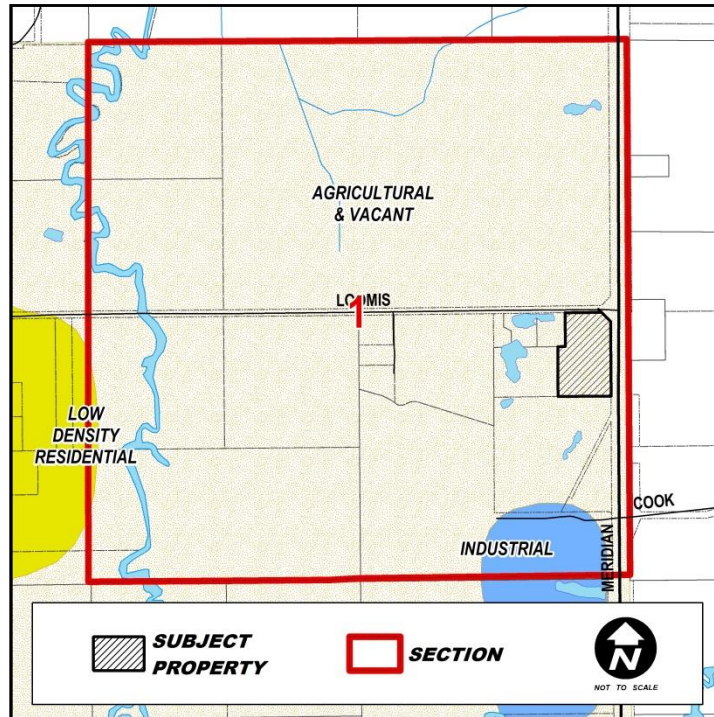


Figure 3
Countywide Future Land Use

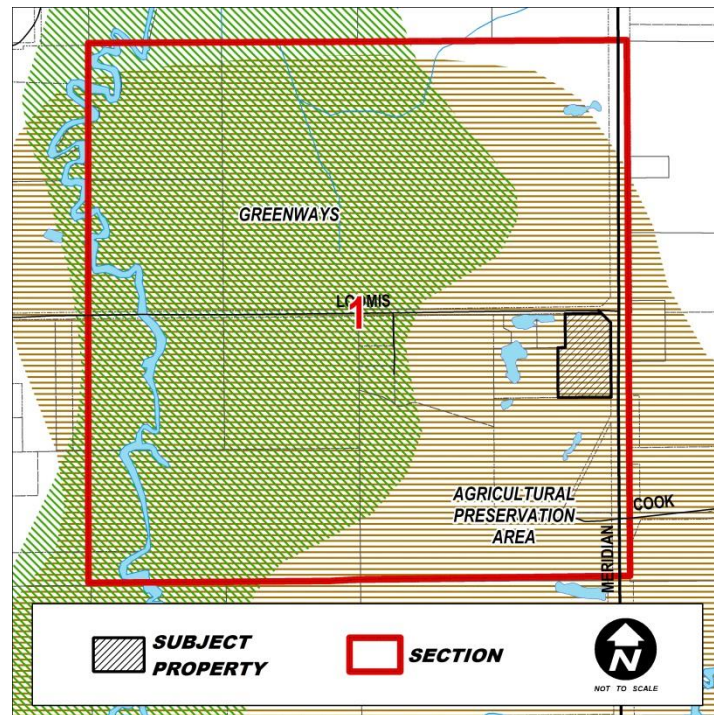


Figure 4
Generalized Municipal Zoning

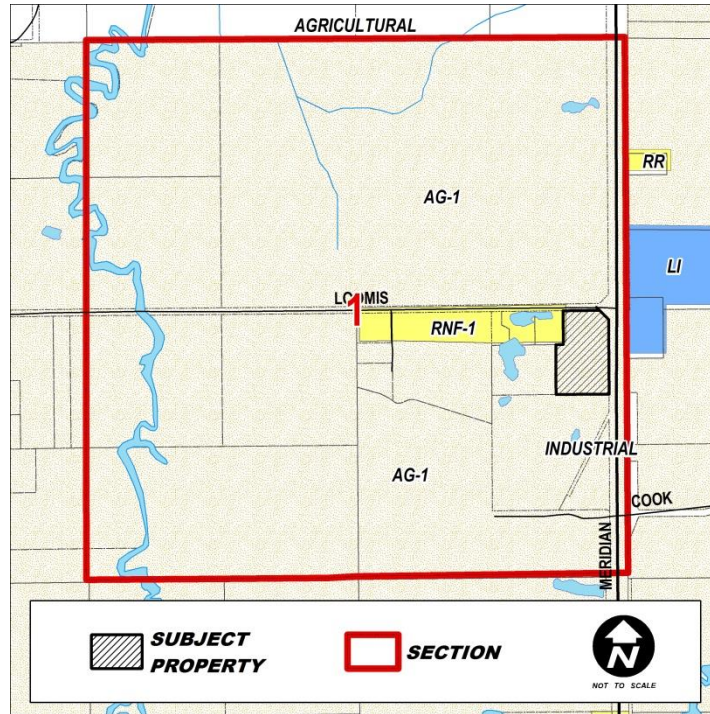
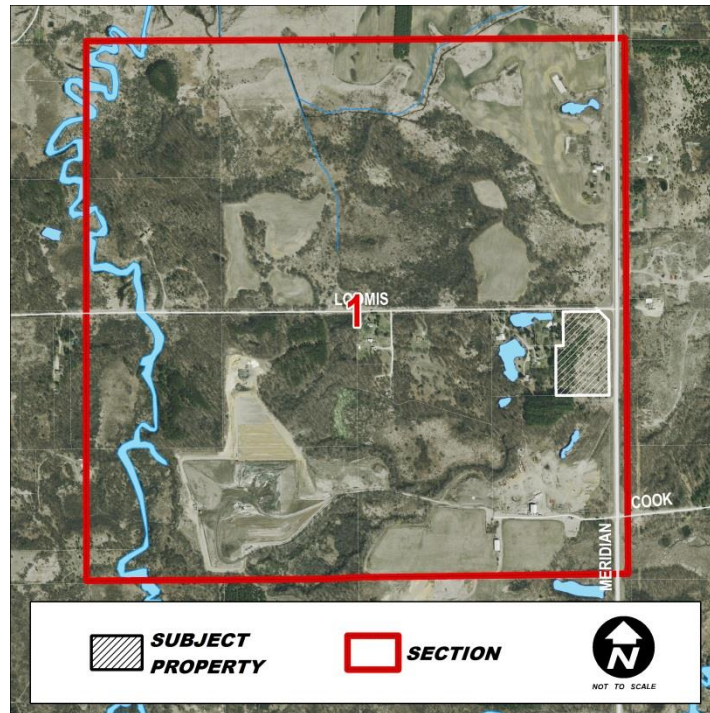
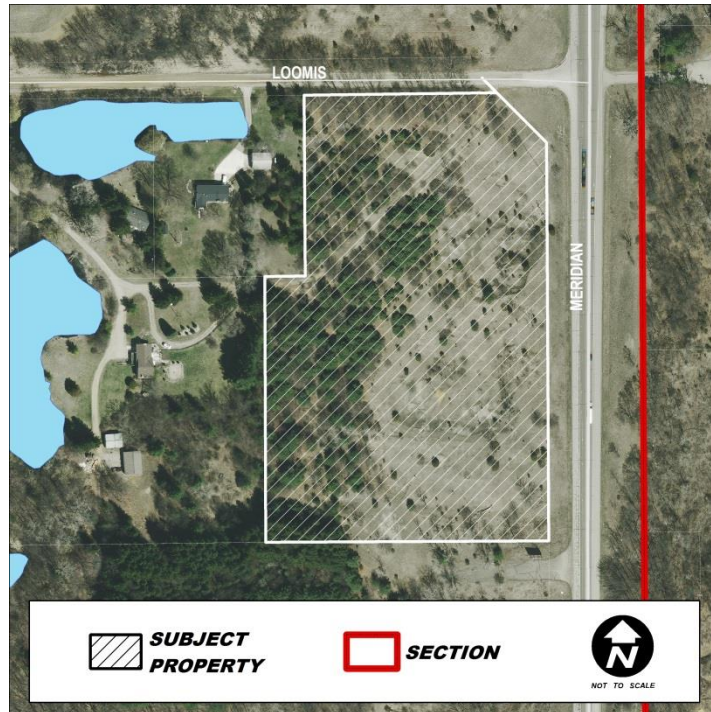


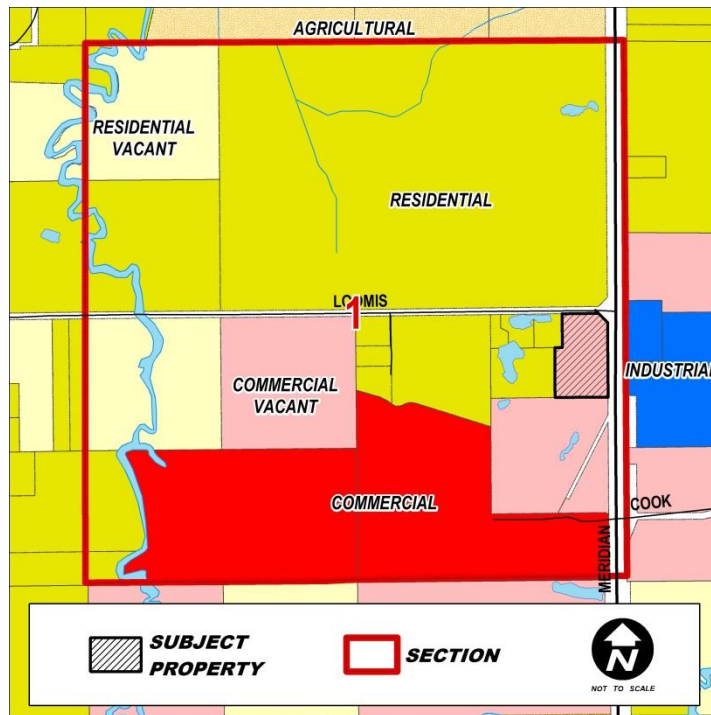
Figure 5a
Aerial Photo



**Figure 5b
Aerial Photo**



**Figure 6
Property Assessment**



REZONING WORKSHEET FORM

RECEIVED

MAR 18 2016



JACKSON COUNTY PLANNING COMMISSION (COORDINATING ZONING)

Per _____

Return to: Jackson County Planning Commission • c/o Region 2 Planning Commission • 120 W. Michigan Avenue • Jackson, Michigan 49201

Please submit with the "Zoning Amendment Form" for a district boundary change (rezoning), not a text amendment.

Township of: Liberty Township Case #: 2016-02
 Township official we may contact: DAVID D TERIACO Phone #: (517) 529 - 4374
 Applicant: Six Brothers Partnership INC Phone #: (517) 787 - 3023
 Rezoning Request: From: Agricultural (Ag-1) To: Light Industrial (I-1)
 Property Location: Section(s): 1 Quarter Section(s): NW NE SW SE
 Legal Description and/or Survey Map/Tax Map (please attach) Yes No (Please do not use only the Parcel ID Number)
 Parcel Size (if more than one parcel, label "A" - "Z"): SEE SURVEY - ATTACHED

Please attach location map Yes No
 What is the existing use of the site? VACANT

What is the proposed use of the site? Storage of BOAT'S AND PONTON

What are the surrounding uses (e.g.: agriculture, single-family residential, highway commercial, etc.)?
 North: AGRICULTURAL South: ''
 East: '' West: ''

What are the surrounding Zoning Districts?
 North: (_____) _____ South: (_____) _____
 East: (_____) _____ West: (_____) _____

What is the suggested use of the site on the Township's Land Use Plan map? _____
 Is municipal water currently available? Yes No Will it be made available? Yes No If yes, when? _____
 Is municipal sewer currently available? Yes No Will it be made available? Yes No If yes, when? _____
 Does the site have access to a public street or road? Yes No If yes, name US 127 SOUTH
 Are there any known environmental constraints on the site? Yes No
 Wetland(s) Floodplain(s) Brownfield(s) Soil(s) Other (please specify) _____

Please attach the minutes of the Planning Commission.
 Yes, the minutes are attached. No, the minutes are not attached.
 Please attach copies of any reports, exhibits or other documented provided to the Planning Commission.
 Yes, copies of documentation are attached. No, copies of documentation are not attached.
 Please attach any public comments, letters, or petitions.
 Yes, public comments are attached. No, public comments are not attached.

Please include any additional information or comments as an attachment.

Revised: 12/19/14

ZONING AMENDMENT FORM

**JACKSON COUNTY RESOLUTIONS AND LEGISLATIVE COMMITTEE
(COORDINATING ZONING)**

Return all copies to: Region 2 Planning Commission, County Building, Jackson, Michigan 49201

*Please include a legal description or survey on rezoning requests and the Planning Commission minutes with this form.
Form to be submitted in quadruplet. Use separate set of forms for each proposed zoning change.*

THE TOWNSHIP ZONING BOARD OF Liberty TOWNSHIP submits the following proposed zoning change to the Jackson County Resolutions and Coordinating Committee for it's recommendations:

ANSWER EITHER A and/or B

A. LEGAL DESCRIPTION AND LOCATION: (use this space for legal and popular property description and number of acres, attach additional sheets if more space is needed and attach copy of map showing all changes and additions)

SEE ATTACHED

1. The above described property is a zoning change FROM AG-1 ZONE TO LI-1 ZONE.
2. PURPOSE OF CHANGE: PONTOON AND BOAT STORAGE

B. PROPOSED CHANGE IS A CHANGE IN THE TEXT OF THE ZONING ORDINANCE:

The following Article and Section is amended or altered: ARTICLE _____ SECTION _____

The NEW SECTION reads as follows: _____

C. PUBLIC HEARING on the above amendment was held: month 2 day 25 year 2016

D. NOTICE OF PUBLIC HEARING was published the following two days:
month 2 day 8 year 2016 month 2 day 15 year 2016
(First notice to be printed not more than 30 days nor less than 20 days; the second notice to be printed not more than 8 days before date of hearing)

E. NEWSPAPER, having general circulation in township, carrying NOTICE OF HEARING: EXPONENT
(name of newspaper)

The PROPOSED ZONING AMENDMENT described herein was duly considered by the Township Zoning Board and shall be forwarded to the Township Board with a recommendation to (APPROVE) (DISAPPROVE).

Hank Choate Chairman Emily Markowski Secretary 2-25-16 Date

COUNTY COMMITTEE ACTION:

1. Date of Meeting: month _____ day _____ year _____
2. The Committee herewith certifies receipt of the proposed amendment, and on the above date:
 - Recommends APPROVAL of the zoning change
 - Recommends DISAPPROVAL of the zoning change for reasons stated in the enclosed letter.
 - Recommends APPROVAL with modifications for reasons stated in the enclosed letter.
 - Takes NO ACTION.

_____ Chairman _____ Member _____ Member
_____ Member _____ Member

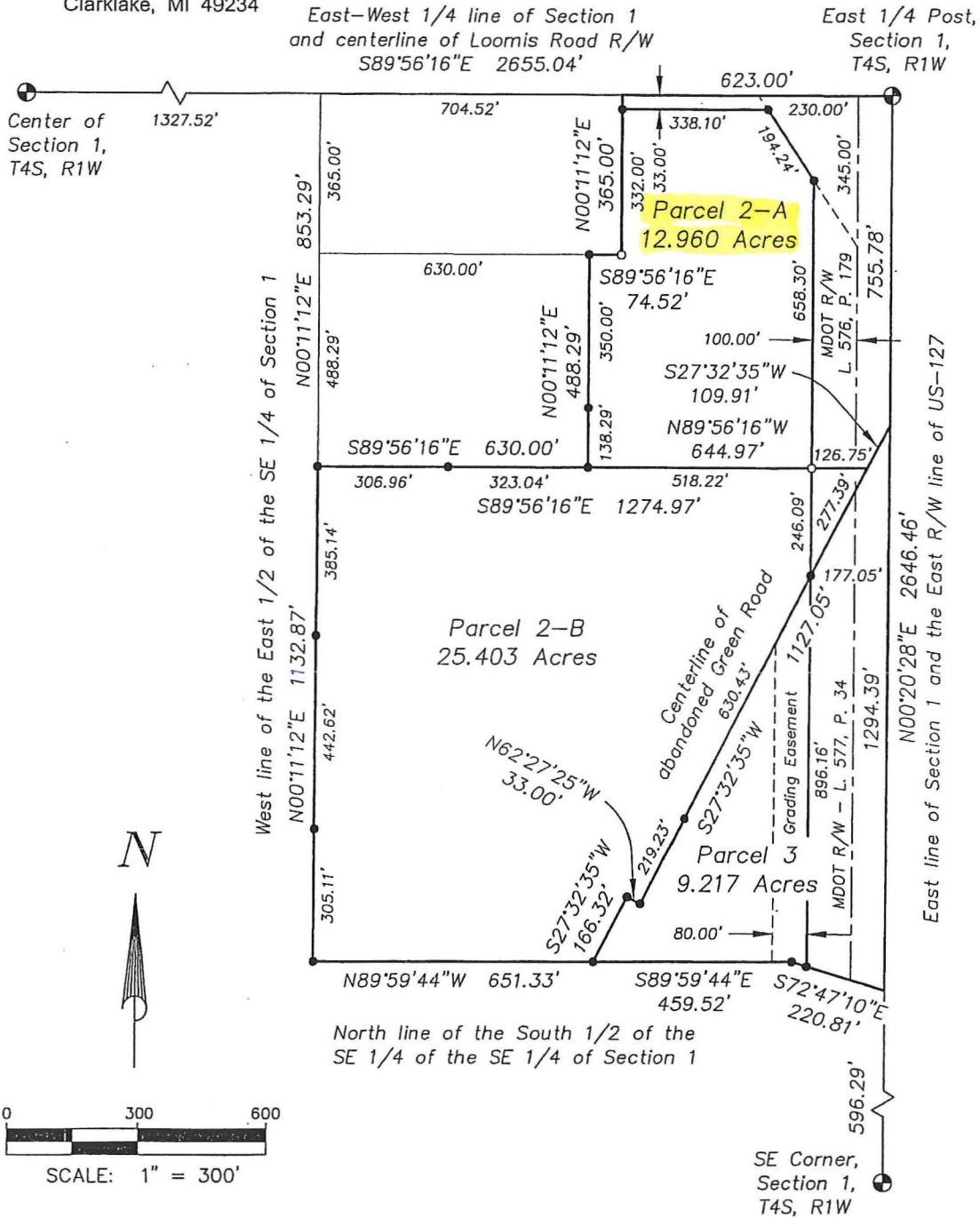
TOWNSHIP BOARD ACTION:

1. Date of Meeting: month _____ day _____ year _____
2. The _____ Township Board herewith certifies that a legally constituted meeting held on the above date
 PASSED, DID NOT PASS, REFERRED ANEW to the Township Zoning Board the recommended change contained herein.

Township Clerk

CERTIFICATE OF SURVEY

Project No. 92107
 March 15, 2013
 Revised: January 12, 2016
 For: Six Brothers Partnership, Inc.
 7900 S. Meridian Road
 Clarklake, MI 49234



\\Server\DATA\LAND PROJECT R2\Sur1992\92107-Boundary\dwg\92107R1 - 2013.dwg, 1/12/2016 9:32:22 AM

<p style="text-align: center;">LEGEND</p> <ul style="list-style-type: none"> ● FOUND IRON ○ SET IRON & CAP 35998 ⊕ SECTION CORNER (R) RECORDED DIMENSION (M) MEASURED DIMENSION 	<p>RIPSTRA & SCHEPPELMAN, INC. CIVIL ENGINEERING - LAND SURVEYING 2535 SPRING ARBOR ROAD JACKSON, MI 49203</p> <p>Office 517-789-9898 Fax 517-789-6065 www.ripstra-schepelman.com</p>	
Page 1 of 5	ALAN L. SCHEPPELMAN, P.S. PROFESSIONAL SURVEYOR NO. 35998	

CERTIFICATE OF SURVEY

Project No. 92107
 March 15, 2013
 Revised: January 12, 2016
 For: Six Brothers Partnership, Inc.
 7900 S. Meridian Road
 Clarklake, MI 49234

Parcel 2-A – 12.960 Acres



Part of the East 1/2 of the Southeast 1/4 of Section 1, Town 4 South, Range 1 West, Liberty Township, Jackson County, Michigan, being described as:

Beginning at the East 1/4 post of said Section 1;
 thence South 00° 20' 28" West, (recorded as South 01° 11' 38" West), along the East line of said Section 1, a distance of 755.78 feet to the centerline of abandoned Green Road;
 thence South 27° 32' 35" West, (recorded as South 28° 23' 45" West), along the centerline of abandoned Green Road, a distance of 109.91 feet;
 thence North 89° 56' 16" West, parallel with the East-West 1/4 line of said Section 1, and the centerline of Loomis Road right-of-way, a distance of 644.97 feet;
 thence North 00° 11' 12" East, parallel with the West line of the East 1/2 of the Southeast 1/4 of said Section 1, a distance of 488.29 feet;
 thence South 89° 56' 16" East, parallel with said East-West 1/4 line and the centerline of Loomis Road right-of-way, a distance of 74.52 feet;
 thence North 00° 11' 12" East, (recorded as North 00° 10' 00" West) parallel with the West line of the East 1/2 of the Southeast 1/4 of said Section 1, a distance of 365.00 feet to said East-West 1/4 line and the centerline of Loomis Road right-of-way;
 thence South 89° 56' 16" East along the East-West 1/4 line and centerline of Loomis Road right-of-way, a distance of 623.00 feet to the Point of Beginning.

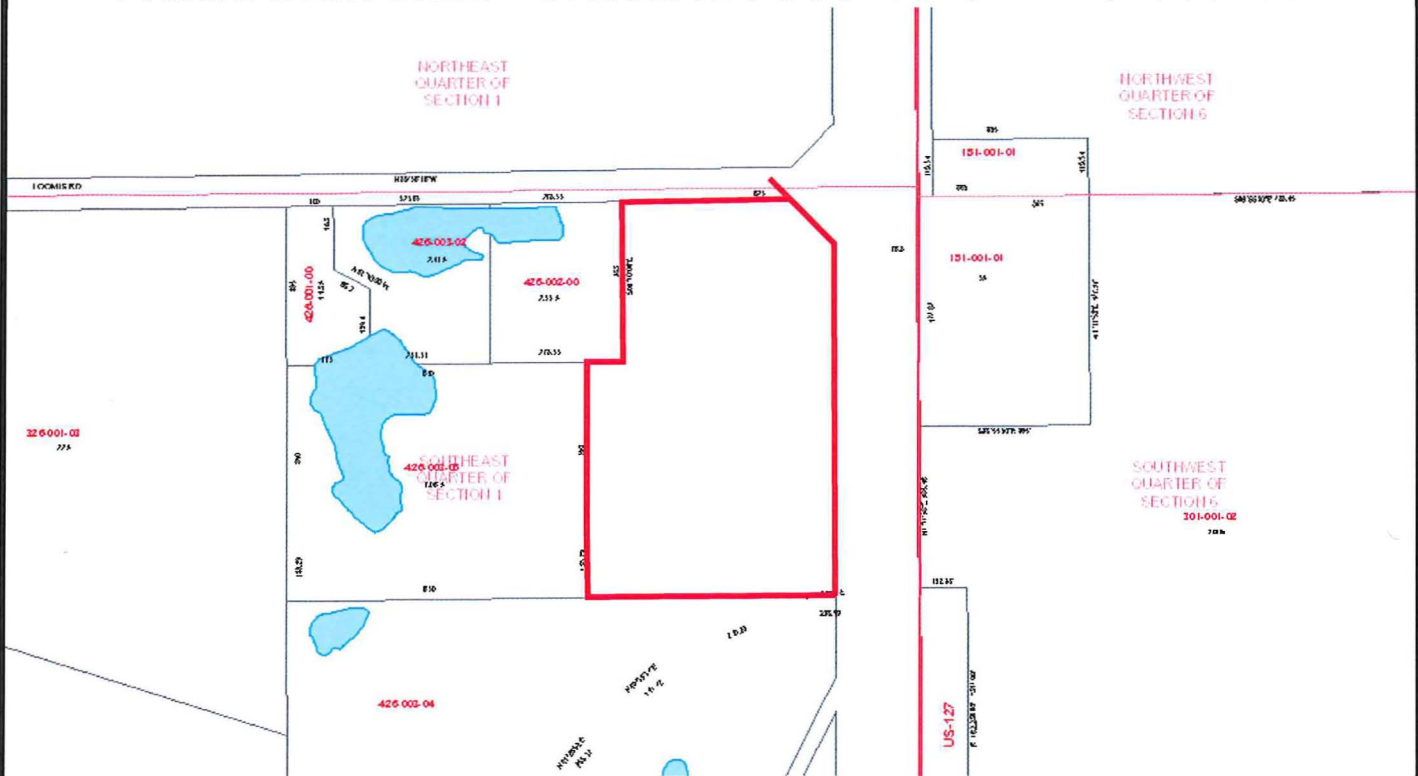
Subject to a road right-of-way over the North 33.00 feet for Loomis Road.

Subject to an easement for Highway US-127 as recorded in Liber 576, Page 179, Jackson County Records.

\\Server\DATA\LAND PROJECT R2\Sur1992\92107-Boundary\dwg\92107R1 - 2013.dwg, 1/12/2016 9:31:52 AM

<p style="text-align: center;">LEGEND</p> <ul style="list-style-type: none"> ● FOUND IRON ○ SET IRON & CAP 35998 ⊕ SECTION CORNER (R) RECORDED DIMENSION (M) MEASURED DIMENSION 	 <p>RIPSTRA & SCHEPPELMAN, INC. CIVIL ENGINEERING - LAND SURVEYING 2535 SPRING ARBOR ROAD JACKSON, MI 49203</p> <p>Office 517-789-9898 Fax 517-789-6065 www.ripstra-schepelman.com</p>	
<p>Page 3 of 5</p>		<p>ALAN L. SCHEPPELMAN, P.S. PROFESSIONAL SURVEYOR NO. 35998</p>

PARCEL DATA SHEET - PARCEL ID: 000-18-01-426-003-06



OWNER NAME SIX BROTHERS PARTNERSHIP INC
 OWNER ADDRESS 911 E SOUTH ST
 JACKSON MI 49203
 HOMESTEAD 0%
 PARCEL ADDRESS LOOMIS RD
 JACKSON MI 49201
 PROPERTY CLASS 202 - COMMERCIAL VACANT
 STATUS Inactive
 ACREAGE 12.96 Acres
 GOV'T UNIT Liberty
 TAX UNIT Liberty
 SCHOOL DISTRICT JACKSON PUBLIC SCHOOL
 LIBER/PAGE 1527-210

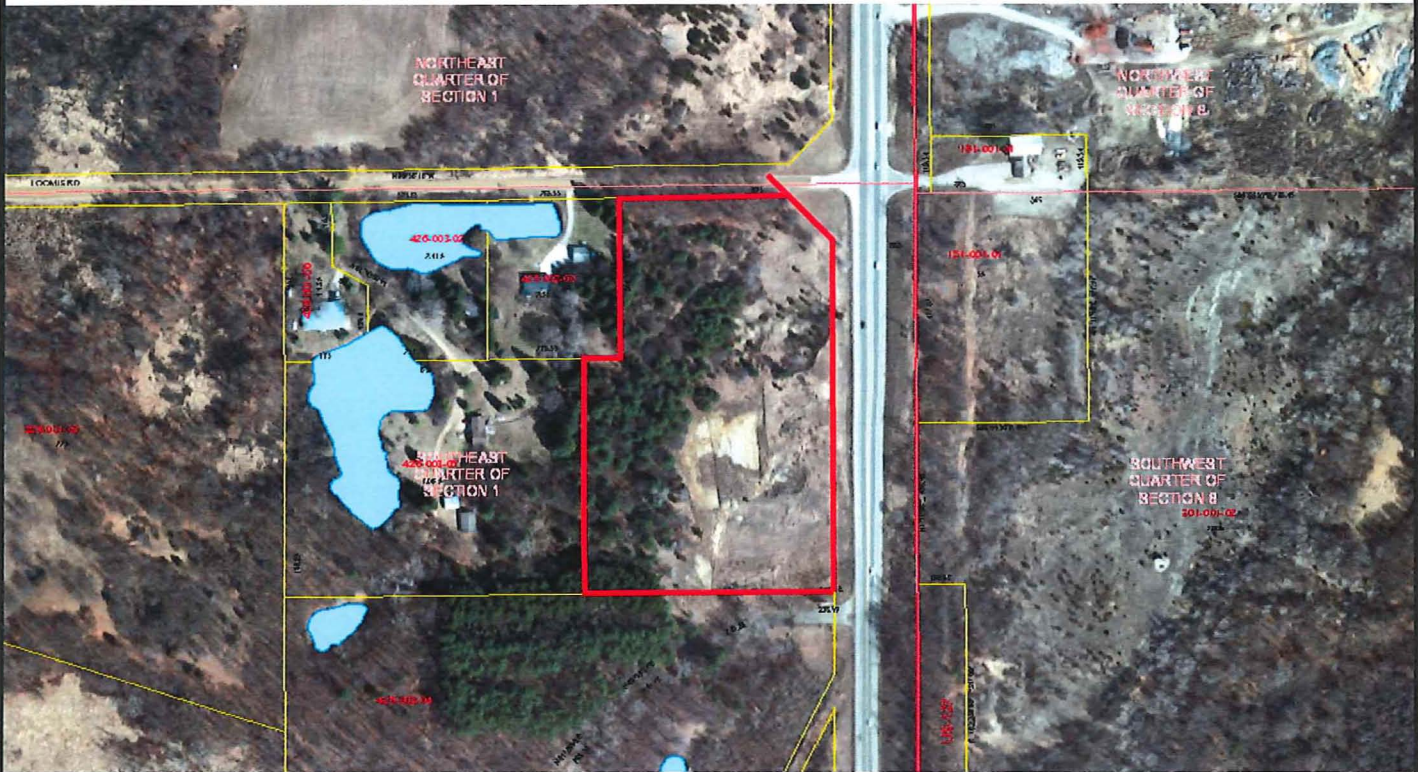
	2013	2014	2015
TAXABLE VALUE	\$0	\$0	\$0
ASSESSED VALUE	\$0	\$0	\$0
TAX DESCRIPTION			
BEG AT THE E ¼ POST OF SEC 1 TH S00°20'28"W (REC AS S01°11'38"W) ALG THE E SEC LN 755.78 FT TO THE CL OF ABANDONED GREEN RD TH S27°32'35"W (REC AS S28°23'45"W) ALG THE CL OF ABANDONED GREEN RD 109.91 FT TH N89°56'16"W 644.97 FT TH N00°11'12"E 488.29 FT TH S89°56'16"E 74.52 FT TH N00°11'12"E (REC AS N00°10'00"W) 365.00 FT TO THE E-W ¼ LN & CL OF LOOMIS RD ROW TH S89°56'16"E ALG E-W ¼ LN & CL OF LOMMIS RD ROW 623.00 FT TO BEG. SEC 1 T4S R1W 12.96 A+/- SPLIT ON 02/24/2016 FROM 000-18-01-426-003-04;			



This generated map is provided to allow easy access and visual display of governmental information and services, as well as information from other sources. Every reasonable effort has been made to ensure the accuracy of the maps and data provided; nevertheless, some information may not be accurate. The burden of determining the accuracy, timeliness, completeness, merchantability, and fitness or appropriateness of use rests solely on you, the user. The parcel data on this sheet was last updated on March 08, 2016.



PARCEL DATA SHEET - PARCEL ID: 000-18-01-426-003-06



OWNER NAME	SIX BROTHERS PARTNERSHIP INC	TAXABLE VALUE	2013	2014	2015
OWNER ADDRESS	911 E SOUTH ST JACKSON MI 49203	ASSESSED VALUE	\$0	\$0	\$0
HOMESTEAD	0%	TAX DESCRIPTION	BEG AT THE E ¼ POST OF SEC 1 TH S00°20'28"W (REC AS S01°11'38"W) ALG THE E SEC LN 755.78 FT TO THE CL OF ABANDONED GREEN RD TH S27°32'35"W (REC AS S28°23'45"W) ALG THE CL OF ABANDONED GREEN RD 109.91 FT TH N89°56'16"W 644.97 FT TH N00°11'12"E 488.29 FT TH S89°56'16"E 74.52 FT TH N00°11'12"E (REC AS N00°10'00"W) 365.00 FT TO THE E-W ¼ LN & CL OF LOOMIS RD ROW TH S89°56'16"E ALG E-W ¼ LN & CL OF LOMMIS RD ROW 623.00 FT TO BEG. SEC 1 T4S R1W 12.960 A+/- SPLIT ON 02/24/2016 FROM 000-18-01-426-003-04;		
PARCEL ADDRESS	LOOMIS RD JACKSON MI 49201				
PROPERTY CLASS	202 - COMMERCIAL VACANT				
STATUS	Inactive				
ACREAGE	12.96 Acres				
GOV'T UNIT	Liberty				
TAX UNIT	Liberty				
SCHOOL DISTRICT	JACKSON PUBLIC SCHOOL				
LIBER/PAGE	1527-210				



This generated map is provided to allow easy access and visual display of governmental information and services, as well as to information from other sources. Every reasonable effort has been made to ensure the accuracy of the maps and data provided; nevertheless, some information may not be accurate. The burden of determining the accuracy, timeliness, completeness, merchantability, and fitness or appropriateness of use rests solely on you, the user. The parcel data on this sheet was last updated on March 08, 2016.



APPLICATION TO INITIATE A ZONING AMENDMENT
LIBERTY TOWNSHIP
JACKSON COUNTY, MICHIGAN

SIX BROS.
Applicant Name

7900 S. MERIDIAN
Applicant Address

JOE DUNIBAN
Applicant Name

Applicant Address

hereby files this application with the Liberty Township office to:
amend the map of Zoning Ordinance by re-zoning the property described below to
another classification:

FROM: A-1
Zoning District

TO: L-1
Zoning District

Legal Description and Location:

Reason for requesting zoning change, including intended use of building, structure or
land: STORAGE FOR PLOWNS, BOATS, ETC.

Submit map, drawn to scale, in sufficient detail to adequately describe the proposed
changes in zoning district boundaries:

Fee \$350.00 Pd. 12-28-15 Cr. # 14772 New

[Signature]
Signature of Applicant

12-28-15
Date

Signature of Applicant

Date

Notice of Hearing Published: _____

Date of Meeting: _____

The Board Herewith Certifies Receipt of The Proposed Amendment, And On The Above
Date:

- Recommends APPROVAL Of The Zoning Change
- Recommends DISAPPROVAL Of The Zoning Change For Reasons Stated
- Recommends APPROVAL With Modifications For Reasons Stated
- Takes No Action

23.75 acres

December 21, 2015

Mr. David Teriaco
Liberty Township
101 W. Liberty Road
Clark Lake, MI 49234

Six Bros. Partnership Inc.
911 E. South St.
Jackson, MI 49203

Re: Rezoning of 2895 Loomis Road Parcel ID 000-18-01-426-003-04

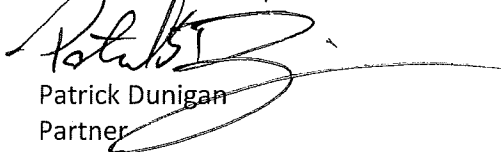
Dear Mr. Teriaco,

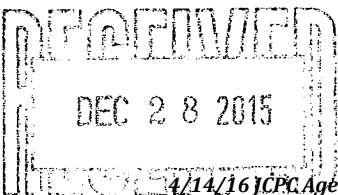
Six Bros. Partnership Inc. respectfully request the rezoning of 2829 Loomis Road from agricultural to Light Industrial.

We propose to utilize this property for a fenced in storage yard with will include a storage building, gravel parking and a 4' fence.

Please contact David Dunigan @ 787-1177 with any questions or concerns.

Thank you,
Six Bros Partnership Inc.


Patrick Dunigan
Partner



PLANNING COMMISSION MEETING
February 25, 2016 at 7:00 p.m.

MINUTES

CALL TO ORDER

Chairperson Hank Choate called the February 25, 2016 meeting to order at 7:00 p.m. The meeting was opened with the Pledge of Allegiance.

ROLL CALL

Members Present: Hank Choate, Leon Densmore, Jim Howe, Joe Dunigan, Joyce Leinbach, and Evelyn Markowski.

Members Absent: Kirk Mercer

Staff Present: Substitute Recording Secretary Sue White, Supervisor Jim Spink, Treasurer Gloria Michaels, and Zoning Administrator Dave Teriaco.

APPROVAL OF MINUTES

Motion by Evelyn Markowski supported by Joe Dunigan to approve the June 16, 2015 Planning Commission meeting minutes as presented with no corrections. All in favor. Motion carried. (6) Yeas. (0) No.

APPLICATIONS FOR ZONING CHANGE

There were two separate applications for zoning changes.

The first Applicant was Joseph Ellison and Robert Doyle of Empire Office Products L.L.C. owners of property address 9500 S. Meridian Rd., Clarklake, MI, Parcel I.D. # 000-18-13-276-001-03, currently zoned I-1. The applications are for a zoning of C-1 to be used as a retail floor covering store and I-1 for future development such as storage units.

Zoning Administrator Teriaco summarized the application adding that no responses to the letters sent to residents were received.

PUBLIC COMMENT

No public comments made at the meeting.

ROLL CALL VOTE / MOTION TO APPROVE

Motion to grant the requested zoning change made by Joe Dunigan supported by Leon Densmore. No further questions or comments. All in favor. Motion carried. (6) Yeas. (0) No.

APPLICATIONS FOR ZONING CHANGE – No. 2

The second applicant for a zoning change was Dave Dunigan of Six Brothers Partnership Inc., owner of Property Address 2895 Loomis Rd., Parcel I.D. # 000-18-01-426-003-04 to change zoning from AG to Commercial for a 13 acre storage unit on Meridian Road.

Questions of the board regarding the split of the land were addressed by Dave Teriaco stating that the assessor, Bruce Little is handling that part of this. In the end it will be a stand alone parcel. Evelyn Markowski asked what kind of outdoor storage would be involved and would there be any fencing. Dave Dunigan said they would be storing boats and construction equipment and yes they would be fencing it. Discussion followed.

PUBLIC COMMENT

No public comments made at the meeting.

MOTION TO APPROVE

Motion to gran the requested zoning change made by Evelyn Markowski supported by Jim Howe. Motion carried. (5) Yeas. (0) No. (1) Abstain, Joe Dunigan.

LETTER OF RESIGNATION

Letter of resignation received from Rebecca Smerdel, Recording Secretary effective February 9 was read by Hank Choate.

MOTION TO ACCEPT RESIGNATION

Motion to accept resignation of Rebecca Smerdel as Recording Secretary made by Leon Densmore supported by Evelyn Markowski. All in favor. Motion carried. (6) Yeas. (0) No.

TOWNSHIP MASTER PLAN

Jim Spink, Township Supervisor advised that the current master plan was created in 1996 and should be updated. He introduced Tim Rogers and Amy Torres from the Enterprise Group, Jim Shotwell of County Commissioners Office and Grant Bauman from Region II, who he invited to give support regarding the township master plan.

The Master Plan would have to go through the County Planning Commission for its review and recommendation prior to adoption and the State of Michigan has a very detailed and mandated Master Plan approval process which takes approximately 3 months.

MOTION TO UPDATE MASTER PLAN

Motion to move forward with the revision and update of the Master Plan made by Joe Dunigan supported by Evelyn Markowski. No further questions or comments. All in favor. Motion carried. (6) Yeas. (0) No.

MOTION TO ADJOURN

Motion to adjourn meeting at 8:00 p.m. made by Evelyn Markowski, supported by Jim Howe. All in favor. Motion carried. (6) Yeas. (0) No.

Planning Commission Member

Planning Commission Member

Sue White, Recording Secretary

Liberty

101 West Liberty Road
Clarklake, Michigan 49234



Township

Phone (517) 529-4374
Fax (517) 529-9066

January 27, 2016

Dear Property Owners:

Please be advised that on Thursday February 25th, 2016 at 7:00pm the Liberty Township Planning Commission will hear a request from Joe Dunigan of Six Brothers Partnership Inc. of 911 E South Street, Jackson, MI 49203 for a re-zoning of property located in Liberty Township at 2928 Loomis Road, Jackson, MI 49201 also known as parcel ID# 000-18-01-426-003-04, they are asking to rezone 12.960 acres of the 23.75 acres parcel from A-1 Agricultural to L-1 Light Industrial. They want to fence in area for storage yard including storage building and gravel parking with 4 foot tall fence.

Also be advised that the Planning Commission will also hear an additional re-zoning request from Robert Doyle & Joe Ellison of Empire Office Products of 314 N Wisner Street, Jackson, MI 49201 to rezone property located at 9500 S. Meridian Road, Clarklake, MI 49234 also known as parcel ID# 000-18-13-276-001-03 a 19.93 acre parcel of which 10 acres at the road on east side from L-1 Light Industrial to C-1 General Commercial for the use or Retail Floor Covering Store and remainder 9.93 to the rear west side of property L-1 Light Industrial for future Development such as storage unites.

Please feel free to attend this meeting if you have any questions or concerns, if you are unable to attend but would like your concerns heard, please send in a letter to the township address to Planning Commission members with your question or concerns and I will make sure the chairperson receives it.

Thank you for your time in this matter.

Sincerely,

A handwritten signature in black ink, appearing to read 'Sharon Warblow'. The signature is fluid and cursive, with a large loop at the end.

Sharon Warblow, Liberty Township Clerk

Cc: file

Jason & Erica Doughty, Paul & Nancy Meade, Keith & Joann Blackmere, Thomas & Karlyn Lockwood, Great Northern Hay & Cattle Co., Liberty Environmentalist's, Inc. Michigan Material & Aggregates Co., RMT Properties LLC, Cynthia Partee

KC Investments LLC, Martin Wisniewski, Dekarske LLC, Martin Boot, Fred & Mary Newton, Youell Co LLC, Samuel & Debra Campell, Paula Thornsburry, Charles & Lee Development LLC

000-18-01-477-001-00
SIX BROTHERS PARTNERSHIP INC
911 E SOUTH ST
JACKSON MI 49203

000-19-06-101-001-02
RMT PROPERTIES LLC
40500 ANN ARBOR RD. STE
PLYMOUTH MI 48170

000-18-01-426-003-05
DOUGHTY JASON L & ERICA L
2353 LOOMIS RD
JACKSON MI 49201

000-19-06-151-001-01
PARTEE CYNTHIA M
720 MANITOU RD
MANITOU BEACH MI 49253

~~000-18-01-426-003-04
SIX BROTHERS PARTNERSHIP INC
911 E SOUTH ST
JACKSON MI 49203~~

~~000-18-01-426-003-03
SIX BROTHERS PARTNERSHIP INC
911 E SOUTH ST
JACKSON MI 49203~~

000-18-01-326-001-03
MEADE PAUL C & NANCY L
2455 LOOMIS RD
JACKSON MI 49201

000-18-01-426-002-00
BLACKMERE KEITH & JOANN
2849 LOOMIS RD
JACKSON MI 49201

000-18-01-426-003-02
LOCKWOOD THOMAS L & KARLYN J
2367 LOOMIS RD
JACKSON MI 49201

000-18-01-200-001-00
GREAT NORTHERN HAY & CATTLE CO
567 PURDY
BIRMINGHAM MI 48009

000-18-01-451-001-03
LIBERTY ENVIRONMENTALISTS INC
7900 S MERIDIAN RD
CLARKLAKE MI 49234

000-19-06-301-001-02
MICHIGAN MATERIAL & AGGREGATES CO
2575 HAGGERTY RD STE 100
CANTON MI 48188

Liberty Township
Land Division Application

Date Received: 1-21-16 Amt. Paid: \$250⁰⁰ Check #/Cash: 14848
Parent Parcel #: 000-18-d-426-003-04 *AW*
Fee Calculation: \$100.00 for each resulting parcel (minimum of 2)

Bring or mail this application with all required attachments to:

Liberty Township Assessor
101 West Liberty Road
Clarklake, MI 49234
Ph: 517-529-4374
Fax: 517-529-9066

APPLICANT Information (if not the fee owner, attach written consent to the application signed by the fee owner):

Contact Person's Name: Joe Duminian Phone: 737-4720
Business Name: Six BROS. PARTNERSHIP LLC Phone: _____
Address: 511 E. SOUTH ST City: JACKSON State: MI Zip: 489203

PARENT PROPERTY Information: Attach copy of most recent tax notice(s) for parcel or tract to be split and copy of all deeds since March 31, 1997, establishing current ownership and availability of division rights. Include a parcel map of the property as it existed on March 31, 2007, and any boundary lines and dimensions of each resulting parcel from any prior divisions since that date.

PROPOSAL:

1. **Tentative parcel map, including:**

- a. Proposed boundary lines and the dimensions of each resulting parcel for this application.
- b. Accurate legal description for each resulting parcel proposed.
- c. The location, dimensions and nature of proposed ingress to and egress from any existing public or private road.
- d. The location of any public or private street, driveway (and associated existing address(es) or utility easement(s) to be located within any resulting parcel(s).
- e. The location(s) of any existing structures or improvements (i.e., septic, well, house, garage, etc.) and setback from proposed parcel lines.

2. **DEVELOPMENT SITE LIMITS:** Check each item below that represents a condition that exists on the parent parcel. Indicate location on proposed parcel map.

- A. In a DNR-designated critical sand dune area?
- B. Riparian or littoral (river or lake front parcel)?
- C. Affected by a Great Lake High Erosion setback?
- D. A wetland?
- E. A beach?
- F. Within a flood plain?
- G. Slopes more than twenty five percent (a 1:4 pitch or 14* angle) or steeper?
- H. On muck soils or soils known to have severe limitation for on-site sewage systems?
- I. Known or suspected to have an abandoned well, underground storage tank or contaminated soils?

3. **FUTURE DIVISIONS:**

- a. How many divisions are remaining after processing of this application? _____
- b. Are any future divisions being transferred from the parent parcel to another parcel? Circle Yes or No. (If yes, please attach completed form L-4260a "Notice to assessor of transfer of the right to make a division of land" for each child parcel to receive division rights.)

Date Received: 1-21-16

NOTE: Parcels must be contiguous, in the same school district and be owned by the same owner (mortgage must cover all).

REQUEST TO COMBINE PARCELS
For property located in Liberty Township,
Jackson County, MI

The undersigned owner (or their authorized representative) of the referenced parcels of property located in Liberty Township, Jackson County, Michigan, hereby request that the properties in question be combined for assessment and tax purposes under one tax identification number. I (we) understand that properties can only be combined if they share a common lot line, have common ownership, and are part of one common school district, and they cannot be combined if said combination would be in conflict with any local ordinance. I (we) also understand that, once the property is combined, prior approval would be required from the township to divide the resulting property for the purpose of sale, lease over one year, or multiple development sites. All outstanding taxes must be paid on all affected parcels prior to processing of this application. Certification from the Jackson County Treasurer may be required.

Parcel tax identification numbers to be combined:

1. 000-18-01-426-003-04
2. 000-18-01-426-003-03
3. _____
4. _____
5. _____

Please attach legal description/survey of resulting parcel if available.

Property Address: 2895 Loomis Rd.

Signed: [Signature]

Owner of Property: Six Bends, Partnership Inc.

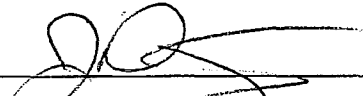
Applicant, if other than owner: _____

Address: 911 E. South St. Jackson, MI 49203

4. **Affidavit and permission for municipal, county and state officials to enter the property for inspections:**

I agree the statements above are true, and if found not to be true this application and any approval will be void. Further, I agree to comply with the conditions and regulations provided with this parent parcel division. Further, I agree to give permission for officials of the municipality, county and the State of Michigan to enter the property where this parcel division is proposed for purposes of inspection to verify that the information on the application is correct at a time mutually agreed with the applicant. Finally, I understand this is only a parcel division which conveys only certain rights under the applicable local land division ordinance, the local zoning ordinance, and the State Land Division Act (formerly the Subdivision Control Act, P.A. 288 of 1967, as amended (particularly by P.A. 591 of 1996, MCL 560.101 et. Seq.), and does not include any representation or conveyance of rights in any other statute, building code, zoning ordinance, deed restriction or other property rights.

Finally, even if this division is approved, I understand zoning, local ordinances and State Acts change from time to time, and if changed the division made here must comply with the new requirements (apply for division approval again) unless deeds, land contracts, leases or surveys representing the approved division are recorded with the Register of Deeds or the division is built upon before the changes to laws are made.

Property Owner's Signature  Date: 1-15-16

All complete application packages will be acted upon within 45 days of receipt. If the application package does not conform to the Liberty Township Land Division Ordinance requirements and the State Land Division Act, the administrator shall return the same to the applicant for completion and refiling in accordance with the ordinance and State Land Division Act.

Any person or entity aggrieved by the decision of the assessor or designee may, within 30 days of said decision appeal the decision to the Township Board which shall consider and resolve such appeal by a majority vote of said Board at its regular meeting or session affording sufficient time for a 10 day written notice to the applicant of the time and date of said meeting. The Township Board may affirm, modify or reverse the decision of the Administrator and its decision shall be final.

A land division approval is effective for 90 days from its issuance, after which it shall be revoked unless within such period there is recorded with the County Register of Deeds office and filed with the Administrator a conveyance of the approved land division or survey evidencing same. All outstanding taxes must be paid before a land division will be processed.

DO NOT WRITE BELOW THIS LINE

ASSESSOR'S COMMENTS: _____

Approved: Conditions, if any: _____

Denied: Reasons: _____

Signature and Date: _____

This form is designed to comply with applicable local zoning, land division ordinances and Section 109 of the Michigan Land Division Act (formerly the subdivision control act, P.A. 288 of 1967, as amended (particularly by P.A. 591 of 1996). MCL 560.101 et seq.). Land in the township shall not be divided without the prior review and approval of the Administrator, or other official designated by the Township Board, in accordance with the Liberty Township Land Division Ordinance and State Land Division Act.

C. Area, Yard, Height, and Bulk Requirements:

See Section 4.5.

SECTION 4.4 - INDUSTRIAL DISTRICT

It is recognized by this Ordinance that the value to the public designating certain areas for certain types of industrial uses represented in the employment opportunities afforded to citizens the resultant economic benefits conferred upon the Township of Liberty. In order that this value may be maintained and this encouraged, this Ordinance has established one zoning district designed to regulate the location of industrial uses according to a well—considered plan which reflects the types of such uses and the intensity of land, street, and highway use in each such district; potential nuisances and hazards which may cause unsafe and unhealthy conditions; and the relationship of industrial uses to each other and to other areas devoted to agricultural, residential, or commercial use and to streets, highways, and other means of transportation. To these ends, certain uses which would function more effectively in other districts and would interfere with the operation of these industrial activities and the purpose of these districts have been excluded. The purpose of each industrial district is stated further below.

4.4.1 Light Industrial District (I-1):

This district is designed to provide suitable space for light industrial uses which operate in a safe, non-objectionable and efficient manner, and which are compatible in appearance with and require a minimum of buffering measures from adjoining non-industrial zoning district. These uses generate a minimum of noise, glare, odor, dust, vibration, air and water pollutants, fire, explosive and radioactive hazards, and other harmful or obnoxious matter.

A. Permitted Uses:

1. Wholesale merchandising or storage warehouses.
2. Vehicle repair garages, but not including auto junk yards.
3. Trucking terminals.
4. Farm machinery and equipment sales and repair.
5. Contractor's yard.
6. Lumber yard.

7. Industrial office buildings.
8. General service and repair establishments including dyeing, cleaning, or laundry works and upholstery or appliance repair.
9. Assembly and manufacture, from prefabricated parts, of household appliances, electronic products, machinery and hardware products, and similar products; or the processing or assembling of parts for production of finished equipment.
10. Skilled trade services including plumbing, electric, heating, printing, and painting establishments.
11. Research and testing laboratories.
12. Essential services and structures.
13. On-site and off-site signs only in accordance with the regulations as specified in Article V, Section 5.17.5. and 5.17.6.
14. Outdoor storage.

B. Conditional Uses, subject to the provisions of Section 5.3. (as amended 2/13/80).

1. Generally including those light manufacturing uses similar to the permitted uses in this district which do not create any more danger to health and safety in surrounding areas and which do not create any more offensive noise, vibration, smoke, dust, lint, odors, heat, or glare than that which is generally associated with light industries of the type specifically permitted.
2. Communication towers as regulated in Section 5.3.10 (G).
3. Junk yards as regulated in Section 5.3.10 (B).

C. Area, Yard, Height, and Bulk Requirements:

See Section 4.5.

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